

MIAMI-DADE COUNTY
DEPARTMENT OF REGULATORY AND ECONOMIC RESOURCES
<http://www.miamidade.gov/building/home.asp>
2/25/2020 10:50:54 AM

Tracking #	Process #	Permit #
3220006685	M2020006685	2020032513

THIS COPY OF PLANS MUST BE AVAILABLE ON BUILDING SITE OR AN INSPECTION WILL NOT BE MADE.

Process #	Review	Disposition	Reviewer	Date
M2020006685	DERM CORE	A	DIAZ, LOURDES	2/24/2020
M2020006685	UPFRONT FEES	A	WEB APPLICATION ID	1/29/2020
M2020006685	WASA	A	CORTES, OZZY	2/20/2020
M2020006685	IMPACT FEES	A	INTERNET IMPACT FEES (IFS)	2/7/2020

Disclaimer.

Subject to compliance with all Federal, State, and County Laws, rules and regulations. Miami-Dade County assumes no responsibility for accuracy of or results of these plans.

NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to the property that may be found in the public records of this county, and there may be additional permits required from other governmental entities such as water management districts, state agencies or federal agencies.

Stamp Name	Trade	Disposition	Stamp Description
Impact fee assessed	PWIF	A	Impact fee assessed by Miami-Dade County
Approved	DERM	A	Approved



1/29/2020

Issued Date: 1/29/2020

CAT Permit Processing Inc
13010 Stirling Road SW
Ranches, FL 33330

RE: Sanitary Sewer Certification of Adequate Capacity

The Miami-Dade County Department of Regulatory and Economic Resources (RER) has received your application for approval of additional sewer flows for the following project which is more specifically described in the attached project summary.

Project Name: New SFR Dunnwoody Lake / Lot 37/Block 1 / M2020006685
Project Location: 16117 NW 87 CT, MIAMI LAKES, FL 33018
Previous Use: Vacant Land.
Proposed Use: 2,843 SF Single Family Residence.
Previous Flow: 0 GPD
Total Calculated Flow: 210 GPD
Allocated Flow (additional sewer flows): 210 GPD
Sewer Utility: UNINCORPORATED DADE COUNTY
Receiving Pump Station: 30 - 1326

RER has evaluated your request in accordance with the terms and conditions set forth in Appendix A of the Consent Decree (CASE No. 1:12-CV-24400-FAM) between the United States of America and Miami-Dade County. RER hereby certifies that adequate treatment and transmission capacity is available for the above described project, pursuant to the criterion stipulated in Appendix A of said Consent Decree.

Furthermore, be advised that this approval does not constitute departmental approval for the proposed project and is subject to the terms and conditions set forth in the Consent Decree. Additional reviews and approvals may be required from other sections having jurisdiction over specific aspects of this project. Also, be advised that the gallons per day (GPD) flow determination indicated herein are for sewer allocation purposes only (in compliance with the Consent Decree requirements) and may not be representative of GPD flows used in calculating connection fees by the utility providing the service.

Be advised that this Sanitary Sewer Certification of Adequate Capacity (this letter) will expire within 90 days of the issue date if the applicant does not obtain a building process number from the corresponding building official. However, if the building process number has already been obtained, this letter will expire within 180 days of the expiration date of the process number. Finally, if a Building Permit was secured for this project, this letter will expire within 150 days of the expiration date of the Building Permit.

Should you have any questions regarding this matter, please contact the Miami-Dade Permitting and Inspecting Center (MDPIC) (786) 315-2800 or RER Office of Plan Review Services, Downtown Office (305) 372-6789.

Sincerely,

Lee N. Hefty
Director of Environmental Resources Management

For/By: _____

Frank Lezcano, Engineer III - Environmental Plan Review,
Department of Regulatory and Economic Resources

Miami-Dade County Department of Regulatory And Economic Resources - Job Copy

3220006685 - 2/25/2020 10:50:54 AM

2020-ALLOCATION-00280-CERT2-01292020-124409209.pdf

<u>Examiner</u>	<u>Date Time Stamp</u>	<u>Disp. Trade</u>	<u>Stamp Name</u>
Lorandes Diaz	2/24/2020 12:49:00 PM A	DERM	Approved

Sanitary Sewer Certification of Adequate Capacity Project Summary:

Owner's Name:
Owner's Address:

EEOS Allocation Number: 2020-ALLOCATION-00280

Project: New SFR Dunnwoody Lake / Lot 37/Block 1 / M2020006685

Proposed Use: 2,843 SF Single Family Residence.

Pump Station: 30-1326
Projected NAPOT: 0.66
Proposed Projected NAPOT: 0.67

Folio	Lot/Block Bldg Proc #	Address	Flow (GPD)	Sewer Status	Sewer Cert Date	Sewer Recert Date	Exp. Date
3220160050370	/ BLR20200416	16117 NW 87 Ct.	210	APP	1/29/2020		
Total:			210 GPD				

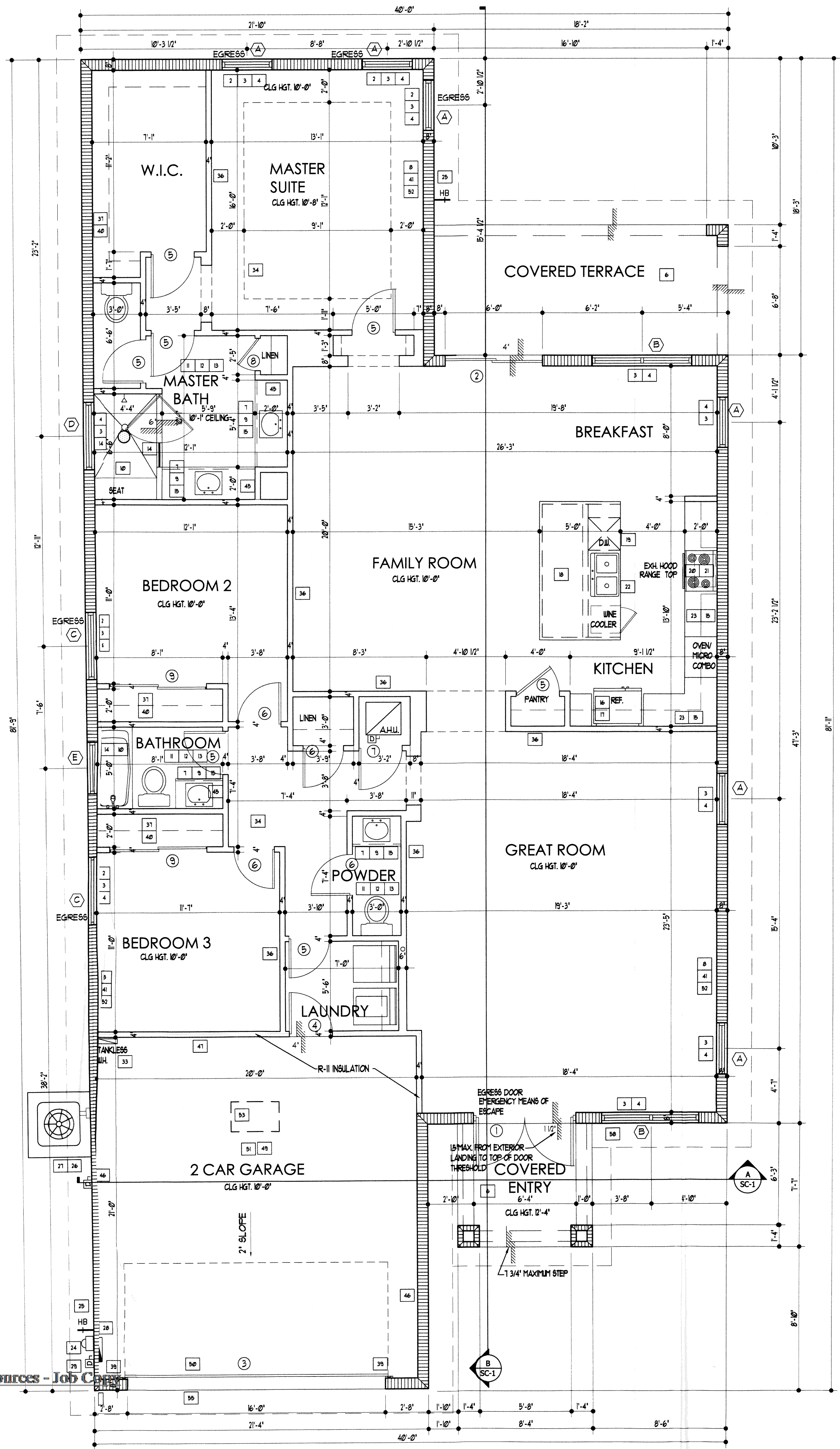
Miami Dade County Department of Regulatory And Economic Resources - Job Copy

3220006685 - 2/25/2020 10:50:54 AM

2020-ALLOCATION-00280-CERT2-01292020-124409209.pdf

Examiner Date Time Stamp Disp. Trade Stamp Name

Lorandes Diaz 2/24/2020 12:49:00 PM A DERM Approved



SQUARE FOOTAGE CALCS	
TOTAL LIVING AREA:	2,116 SQ.FT.
ENTRY PORCH:	63 SQ.FT.
GARAGE:	459 SQ.FT.
COVERED TERRACE:	145 SQ.FT.
TOTAL BUILDING AREA:	2,843 SQ.FT.

FLOOR PLAN - MODEL 2180

ISSUANCE FOR

☐ BIDDING ☐ CONSTRUCTION ☐ PERMIT

REV1

REV2

REV3

REV4

AFFIX SEAL HERE

Client: LENNAR HOMES

Address: 730 NW 107TH AVENUE, 3RD FLOOR

Address: MIAMI, FLORIDA 33172

Phone: 305-559-1951

Plan: DUNNWOODY LAKES - MODEL 2180

FLOOR PLAN

Job No.: 3220006685

Drawn By: E.S.A.

Scale: 1/4"=1'-0"

Date: 02-02-18

Lot: 10

Block: 10

EDWARD SILVA, ARCHITECT

REG. No. 0011131

8900 SW 117 AVE #B107, MIAMI, FLORIDA 33186

(305) 275-8383 / FAX - (305) 275-8381

E.S.A.

A-1

of

Drawing: Model 2180 Landscape Plan

Date: 09/20/2019

Scale: See Left

Drawn by: AGS

Sheet No.:

L-1

Cad Id.: 2015-107

LARGE TREE PLANTING DETAIL

BIO-BARRIER DETAIL

TYPICAL TREE GUYING DETAIL

STRAIGHT TRUNK PALM PLANTING DETAIL

CURVED TRUNK PALM PLANTING DETAIL

TYPICAL SHRUB PLANTING DETAIL

TYPICAL CONTAINER SPACING DETAIL

TYPICAL GROUNDCOVER PLANTING DETAIL

PLANTING NOTES:

-All plant material is to be Florida Number 1 or better pursuant to the Florida Department of Agriculture's Grades and Standards for Nursery Plants.

-All plants are to be top dressed with a minimum 1" layer of Melaleuca mulch, Eucalyptus mulch or equal.

-Planting plans shall take precedence over plantst in case of discrepancies.

-No changes are to be made without the prior cosent of the Landscape Architect and Owner. Additions and or deletions to the plant material must be approvedy the project engineer.

-Landscape Contractor is responsible for providing their own square footage takeoffs and field verification for 100% sod coverage for all areas specified.

- All landscape areas are to be provided with automatic sprinkler system which provide 100% coverage, and 50% overlap.

- All trees in lawn areas are to receive a 24" diameter mulched saucer at the base of the trunk.

- Trees are to be planted within parking islands. Top soil is brought up to grade. Deeply set root balls are not acceptable.

- Planting soil for topsoil and backfill shall be 500 mix, nematode free. Planting soil for annual beds to be comprised of 50% Canadian peat moss, 25% salt free coaræ sand and 25% Aerolite.

- Tree and shrub pits will be supplemented with "griform Pells", 21 gram size with a 20-10-5 analysis, or substitute application accepted by Landscape Architect. Deliver in manufacturer's standard containers showing weight, analysis and name of manufacturer.

SOD NOTES:

- Sod is to be grade "A" weed free.

-All areas marked "LAWN" shall be solid sodded with St. Augustine 'Floritam' solid sod. See limit on plan. All areas marked 'Bahia Grass' shall be solid sodded with Paspalum.

-Provide a 2" deep blanket or planting soil as described in planting notes this sheet. Prior to planting, remove stones, sticks, etc. from the sub soil surface. Excavate existing non-conforming soil as required so that the finish grade of sod is flush with adjacent pavement or top of curb as well as adjacent sod in the case of sod patching.

-Place sod on moistened soil, with edges tightly butted, in staggered rows at right angles to slopes.

-Keep edge of sod bed a minimum of 18" away from groundcover beds and 24" away from edge of shrub beds and 36" away from trees, measured from center of plant.

-Sod Shall be watered immediatley after installation to uniformly wet the soil to at least 2" below the bottom of the sod strips.

-Excavate and remove excess soil so top of sod is flush with top of curb or adjacent pavement or adjacent existing sod.

GENERAL NOTES:

-The Landscape Contractor is to locate and verify all underground and overhead utilities prior to beginning work. Contact proper utility companies and / or General Contractor prior to digging for field verification. The Owner and the Landscape Architect shall not be responsible for any damages to utility or irrigation lines (see Roadway Plans for more utility notes).

-Landscape Contractor is to verify all current drawings and check for discrepancies and bring to the attention of the Landscape Architect prior to commencing with the work.

-All unattended and unplanted tree pits are to be properly barricaded and flagged during installation.

-All planting plans are issued as directives for site layout. Any deviations, site changes, etcetera are to be brought to the attention of the Landscape Architect for clarification prior to installation.

[illegible]



Department of Regulatory and Economic Resources

Impact Fee Assessment

Process Number: M2020006685-0

Batch:

Collection Number:

Folio: 3220160050370

Site Address: 16117 NW 87 CT

CP*: N

Assessment Date: 01/29/2020

Fee Payer:

Disclaimer Note: *ROAD/FIRE/POL/PKS impact fees
will increase on 10/1/2019*

Online Payment available at:

CP*: Exempt from Public Records 119.071 Florida Statutes <https://www8.miamidade.gov/apps/rer/ImpactFeesPayments/default.aspx>

Y: Exempt

N: No Exempt

Blank: No info

Payment can be made by Credit Card, Cash, Check or Cashiers's Check

Payable to Miami Dade County

Fee Type	Dist Id	Category Code	Cat Suffix	Category Description	Units	Fee	Extended Amount	Deferred Amount
AREA								\$0.00
	3.0	5002	00	UNIT SIZE (SQ FT)	2,843	\$0.9180	\$2,609.87	
FIRE								\$0.00
	2.0	2007	00	RESIDENTIAL	1	\$440.4021	\$440.40	
PKIM								\$0.00
	1.5	4201	00	SFR DETACHED-IMPR-1	1	\$1,963.2135	\$1,963.21	
PKOS								\$0.00
	1.5	4101	00	SFR DETACHED-OPEN-1	1	\$2,129.7299	\$2,129.73	
POLC								\$0.00
	1.0	3001	00	RESIDENTIAL	1	\$574.6915	\$574.69	
ROAD								\$0.00
	3.0	210	00	SINGLE-FAMILY DETACHED	1	\$9,769.6280	\$9,769.63	
SCHL								\$0.00
	3.0	5001	00	RESIDENTIAL UNIT	1	\$612.0000	\$612.00	

Assessment Total Amount: \$18,099.53

Deferral Amount: \$0.00

Current Balance Due: \$18,099.53

Miami Dade County Department of Regulatory And Economic Resources - Job Copy

3220006685 - 2/25/2020 10:50:54 AM

M2020006685 - Impact Fee Assessment.pdf

Examiner Date Time Stamp Dep Trade Stamp Name

Keith Richardson 1/29/2020 2:13:45 PM A PWIF Impact fee assessed

Lydia.cabrera@catpermitprocessing.com

NOTE: ALL SHEET MUST BE REVIEWED
MIAMI-DADE COUNTY DEPARTMENT OF REGULATORY AND ECONOMIC RESOURCES

Herbert S. Saffir Permitting and Inspection Center
11805 SW 26th Street (Coral Way) • Miami, Florida 33175-2474 • (786) 315-2000

APPLICATION FOR MUNICIPAL PERMIT APPLICANTS
THAT REQUIRE PLAN REVIEW FROM MIAMI-DADE FIRE RESCUE
AND/OR ENVIRONMENTAL SERVICES

M2020006685 3220006685 BLP 2020-0416

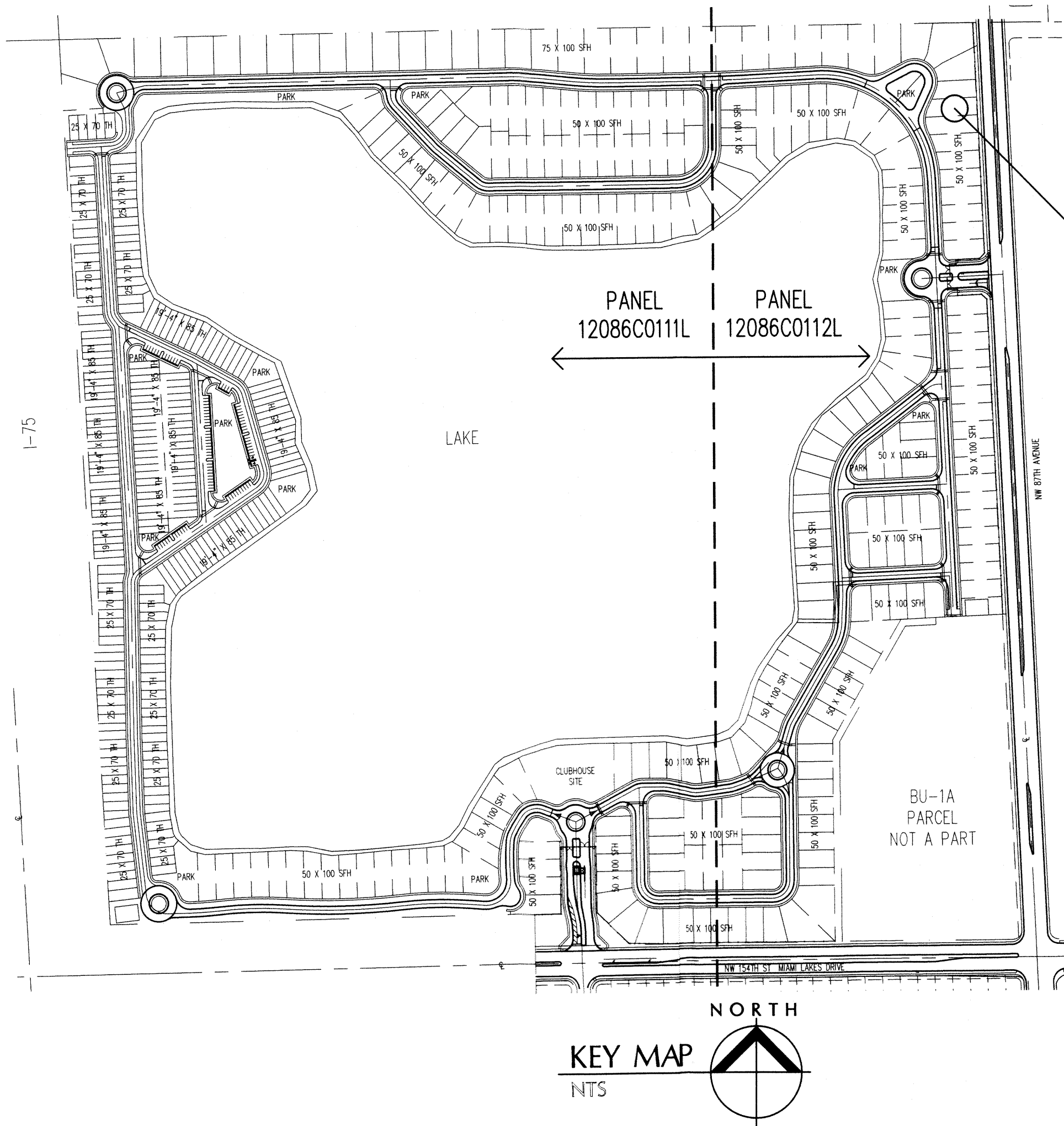
PROVIDE MUNICIPAL PROCESS NUMBER HERE			
LOCATION OF IMPROVEMENTS	Job Address <u>16117 NW 87 CT</u>		CONTRACTOR INFORMATION
	Folio <u>32-2016-005- 0370</u>		
TYPE OF IMPROVEMENTS	Lot <u>37</u> Block <u>01</u>		Contractor No. <u>DRYRUN</u>
	Subdivision <u>Dunn Woody Lakes 50</u> Bpg		
PERMIT TYPE	Metes and bounds		Last four (4) digits of Qualifier No. _____
	[☒] New Construction on Vacant Land		
PERSON TO PICK UP PLANS	[☐] Alteration Interior		Contractor Name <u>DRYRUN</u>
	[☐] Alteration Exterior		
FIRE SPECIAL REQUEST PLAN REVIEW (SRI)	[☐] Relocation of Structure		Qualifier Name _____
	[☐] Enclosure		
OPTIONAL PLAN REVIEW (OPR)	[☐] Repair		Address _____
	[☐] Repair Due to Fire		
REVIEW STATUS	[☐] Demolish		City _____ State _____ Zip _____
	[☐] Shell Only		
OWNER'S NAME	[☐] Addition Attached		Current use of property <u>VACANT</u>
	[☐] Addition Detached		
ARCHITECT / ENGINEER	[☐] Re-Roof		Description of Work <u>New SFR Model 2180</u>
	[☐] Foundation Only		
FIRE SPECIAL REQUEST PLAN REVIEW (SRI)	[☐] Tent		Sq. Ft. <u>2843</u> Units <u>1</u> Floors _____
	[☒] MBLD* Category <u>02</u>		
OPTIONAL PLAN REVIEW (OPR)	[☐] MELE		Value of Work <u>\$75,000.00</u>
	[☐] MLPG		
FIRE SPECIAL REQUEST PLAN REVIEW (SRI)	[☐] MMEC		Owner <u>LENNAR HOMES</u>
	[☐] FIRE		
OPTIONAL PLAN REVIEW (OPR)	[☐] Chg. Contractor		Address <u>730 NW 107TH AVE</u>
	[☐] Re-Issue		
FIRE SPECIAL REQUEST PLAN REVIEW (SRI)	[☐] Re-Stamp		City <u>MIAMI</u> State <u>FL</u> Zip _____
	[☐] Revision		
OPTIONAL PLAN REVIEW (OPR)	[☐] Not Applicable for Fire		Phone <u>786-348-3251</u>
	[☐] Not Applicable for Fire		
FIRE SPECIAL REQUEST PLAN REVIEW (SRI)	Name <u>CAT PERMIT PROCESSING INC.</u>		Last four (4) digits of Owner's Social Security No. _____
	Address <u>13010 Stirling Road SW</u>		
OPTIONAL PLAN REVIEW (OPR)	City <u>Ranches</u> State <u>FL</u> Zip <u>33330</u>		Owner _____
	Phone <u>786-348-3251</u>		
FIRE SPECIAL REQUEST PLAN REVIEW (SRI)	Address _____		Address _____
	City _____ State _____ Zip _____		
OPTIONAL PLAN REVIEW (OPR)	Phone _____		City _____ State _____ Zip _____
	Phone _____		
FIRE SPECIAL REQUEST PLAN REVIEW (SRI)	I am requesting a Special Request Plan Review (SRI) to be scheduled as soon as possible at the rate of \$190 for the first hour and \$65 per each additional hour in addition to the review fees. Minimum charge one-hour.		Date: _____
	1st Request: _____		
OPTIONAL PLAN REVIEW (OPR)	I am requesting Optional Plan Review (OPR) to be scheduled as soon as possible at the rate of \$75 for each discipline. Additional review fees may apply.		Date: _____
	2nd Request: _____		
FIRE SPECIAL REQUEST PLAN REVIEW (SRI)	3rd Request: _____		Date: _____
	1st Request: _____		
OPTIONAL PLAN REVIEW (OPR)	2nd Request: _____		Date: _____
	3rd Request: _____		

Miami Dade County Department of Regulatory And Economic Resources - Job Copy

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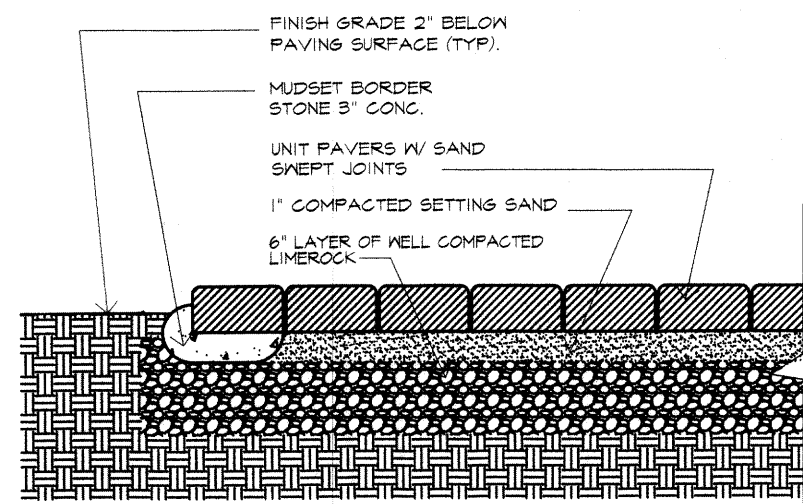
MDC Permit Application.pdf

001 PASCUAL, PEREZ, KILIDDJIAN & ASSOCIATES - ARCHITECTS - PLANNERS
3220006685 - 2/25/2020 10:50:54 AM
SP-1.PDF
Examiner Date Time Stamp Disp. Trade Stamp Name
Lourdes Diaz 2/24/2020 12:50:19 PMA DERM Approved



LEGAL DESCRIPTION	
LEGAL DESCRIPTION: LOT 37 BLOCK 1 SUBDIVISION: DUNNWOODY LAKE	
P.B. _____ PG. _____ DEVELOPMENT NAME: DUNNWOODY	
LOCATED AT (Address): _____	

PROPOSED LOCATION



PAVERS
NOT TO SCALE

NOTE:

This Plot Plan has been prepared for the specific purpose of showing setbacks and utilities access in order to obtain a building permit.
The exact location of the building within the lot lines shall be measured from a layout drawing prepared by a certified surveyor.

NOTE:
LOT LINE DIMENSIONS, BEARINGS AND LOT AREA INFORMATION PROVIDED IS BASED ON A PLAT PREPARED BY: **FORD ENGINEERS, INC.**

CROWN OF THE ROAD ELEVATION IS BASED ON PAVING AND DRAINAGE PLANS PREPARED BY: **SRS ENGINEERING, INC.**
ALL CONDITIONS SHALL BE VERIFY ON THE FIELD.

FLOOD INFORMATION	
FLOOD ZONE:	"X"
PANEL NUMBER :	112 of 1231
MAP NUMBER :	12086C0112L
DATE :	SEPT. 11, 2023
BASE FLOOD ELEV.:	+6.00
PROPOSED FF. ELEV.:	+9.07'
PROP. A/C PAD ELEV.:	+9.07'
PROPOSED GARAGE ELEV.:	+8.53'
HIGHEST ELEV. OF ROAD	+7.51
HIGHEST BACK OF SIDEWALK ELEV.:	+7.41

LCMR-F Case No: 16-04-6236A

ZONING LEGEND

SINGLE FAMILY 4 TOWNHOMES

ZONING: **R2-13**

Net Land Area	6,903 S.F.	
Lot Coverage (everything under roof)	41.8%	
SETBACKS:	REQUIRED	PROVIDED
Front	* 5' FOR 50% OF WIDTH, REMAINING AT 25' MINIMUM, 20' AT GARAGE, RES B-1334 (VXV)	20'-0"
Interior Side	5'-0"	5'-0"
Side Street	5'-0"	N/A
Rear	** 5' FOR 50% OF WIDTH, REMAINING AT 25' MINIMUM, RES B-1334 (VXV)	34'-1"

Area adjacent to lake or canal to be graded so as to prevent direct overland discharge of stormwater into lake or canal.

Lot will be graded so as to prevent direct overland discharge of overland discharge of stormwater onto adjacent property. Applicant will provide certification prior to final inspection.

ANY APPLICABLE RESOLUTIONS:

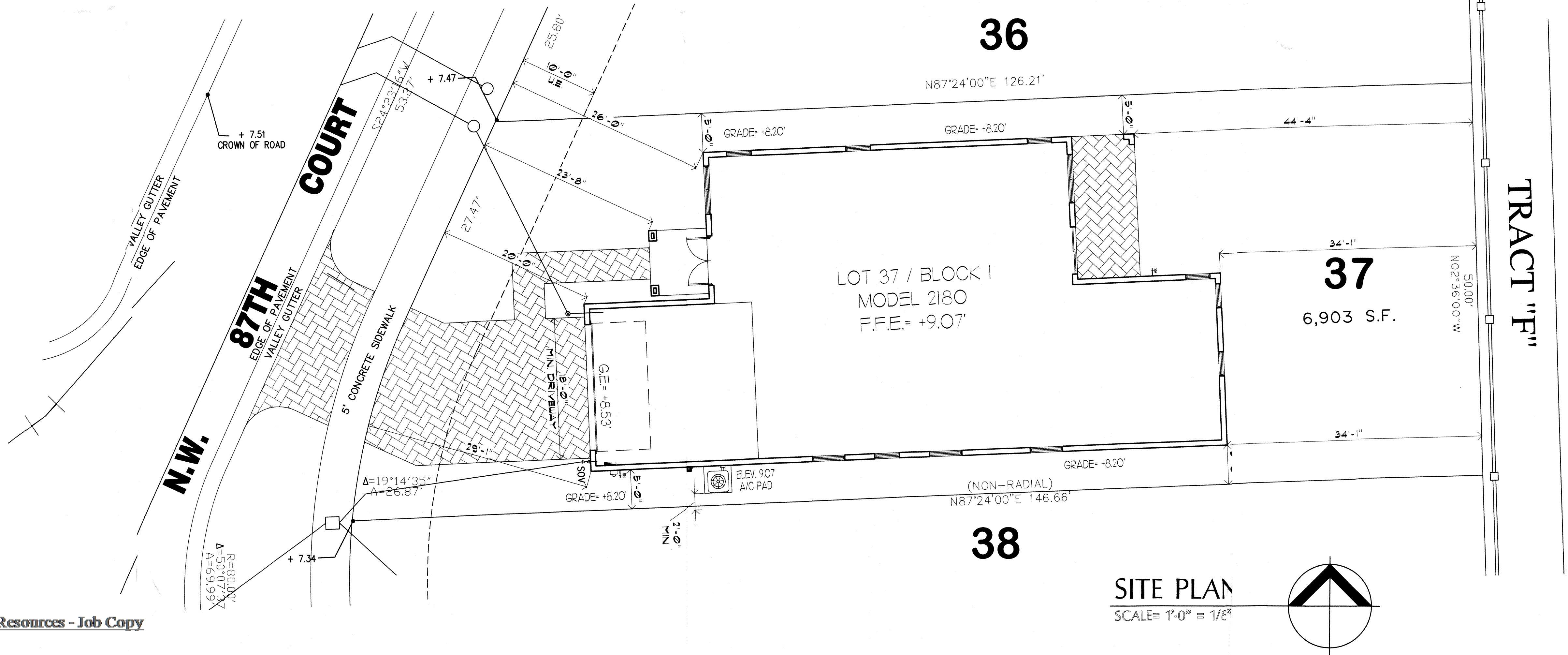
NOTICE:

In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the Public Records of this County. Section 553.79(10), Florida Statutes, effective 7/1/08.

A separate permit will be required for all driveway approaches onto public right-of-way. Contact Public Works Department.

The height of the fences, wall and hedges shall not exceed 25 feet in height within 10 feet of the edge of any driveway leading to any right-of-way.

The height of fences is being measured from grade. Grade = Elevation of public sidewalk or crown of road.



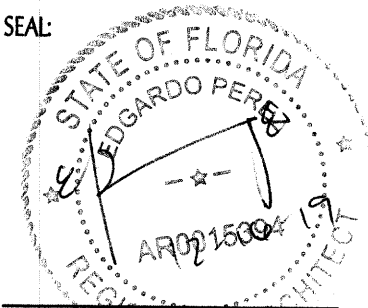
PASCUAL
PEREZ
KILIDDJIAN
& ASSOCIATES
ARCHITECTS - PLANNERS
LICENSE # AA 26001357
EDGARDO PEREZ, AIA
LICENSE No.: AR 0015394
MARIO P. PASCUAL, AIA
LICENSE No.: AR 0008254
PETER KILIDDJIAN, RA
LICENSE No.: AR 0093067

AT THE BEACON CENTER
1300 NW 84th AVENUE
DORAL, FLORIDA 33126
TELEPHONE: (305) 592-1363
FACSIMILE: (305) 592-6865
<http://www.ppkarch.com>

NOTICE:
In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the Public Records of this County. Section 553.79(10), Florida Statutes, effective 7/1/08.

OWNER:
LENNAR HOMES
730 NW 107th AVENUE
MIAMI, FLORIDA 33172

DUNNWOODY
BY
LENNAR HOMES
CITY OF HIALEAH, FLORIDA



PLOT PLAN
MODEL 2180

LOT 37 - BLOCK 1
DATE: 12.6.19
SCALE: AS SHOWN
DRAWN: CR
CHECK BY:
JOB NO.: 15-42

SP-1

SHEET NO.:

Lennar/Dunwoody Lakes SFR 50s

Lot Blk			Address	Model	Permit #	Process #
118240	37	01	16117 NW 37 CT	2130		C

JOB COPY

BLR 2020-0416

16117 NW 87 Ct

Master Permit BLR2019-0620
TOWN OF MIAMI LAKES

THIS COPY OF PLANS MUST BE AVAILABLE ON BUILDING SITE OR NO INSPECTION WILL BE GIVEN

SECTION	APPROVED		DATE	
	BY		BY	
ZONING				
LANDSCAPING				
PUBLICWORKS				
BUILDING				
UTILITIES				
MANICAP				
STRUCTURAL				
ELECTRICAL				
PLUMBING				
MECHANICAL				
SURVEY				
FILE				

to assist in compliance with all Federal, State and County Laws, Rules and Regulations.
The Board of Health works closely with the health department in carrying out its duties and
functions. It is the responsibility of the Board of Health to the people of the county and town.



Address: 16117 NW 87 CT
Folio #: 32-20160050370
MDC Process #: M202006685
MDC Tracking #: 3220006685
Job Description: LENNAR TYPICAL MODEL 2180

Master Permit #: BLR2020-0416

Sub Permit #: _____

Revision #: _____

OFFICE USE ONLY

ZONING	☐ Approved	Date	Disapproved	BUILDING	☐ Approved	Date	Disapproved	STRUCT.	☐ Approved	Date	Disapproved
	Date				Date				Date		
	Initials				Initials				Initials		
ROOFING	☐ Approved	Date	Disapproved	ELECT.	☐ Approved	Date	Disapproved	MECH.	☐ Approved	Date	Disapproved
	Date				Date				Date		
	Initials				Initials				Initials		
PLUMBING	☐ Approved	Date	Disapproved	FLOOD	☐ Approved	Date	Disapproved		☐ Approved	Date	Disapproved
	Date				Date				Date		
	Initials				Initials				Initials		

PLANS CHECKED-OUT

DATE	NAME

PLANS CHECKED-IN

DATE	NAME

AMOUNTS	
BASE PERMIT	
ZONING FEE	
CODE COMPLIANCE FEE	
TECHNOLOGY FEE	
DBPR SURCH. STATE	
DBPR SURCH. BUILDING	
SCANNING FEE	
WORK W/O PERMIT FEE	
UPFRONT FEE PAID	250

Miami Dade County Department of Regulatory and Economic Resources Job Copy

3220006685 - 7/25/2020 10:50:54 AM

TCDL Permit Application.pdf

Issuing Clerk: _____ Date: ____/____/____



6601 Main St • Miami Lakes, Florida, 33014
Office: (305) 827-4015 • Fax: (305) 558-9884
Website: www.miamilakes-fl.gov

BUILDING PERMIT APPLICATION

Job Address: 16117 NW 87 CT

Unit #:

Folio #: 32- 2016-005- 0370 Owner-Builder: ☒

Master Permit #: BLR2020 0416 Sub Permit #: _____ Revision #: _____

OWNER INFORMATION	LEGAL USE/ WORK
NAME : Lennar Homes	Current Use of Property: <u>Vacant</u>
Address: 730 NW 107th Avenue 3rd Floor	Job Description <u>SFR Model 2180</u>
City, State, Zip Miami, FL 33172	<u>MASTER BLR20190620</u>
Phone #: 786-348-3251 Cell #: 786-348-3251	Lot <u>37</u> Blk <u>1</u>
Email Address: lydiacabrera@catpermitprocessing.com	JOB COST \$ <u>\$230,994</u> AREA/LENGTH: <u>2,843</u> SF/LF
Company Name: Lennar Homes	Residential ☒ Multi-Family ☐ Commercial ☐ Industrial ☐
Qualifier Name: Phil Serrate	Code in Effect: _____
License # CGC062343	Occupancy: _____
Address 730 NW 107th Avenue 3rd Floor	Construction Type: _____
City, State, Zip Miami, FL 33172	Flood Zone/B.F.E.: _____ F.F.E.: _____
Phone #: 305-970-1692 Cell #: 786-348-3251	Firm Name: <u>ESA Architects</u>
Email Address: lydiacabrera@catpermitprocessing.com	A/E of record: <u>Ed Silva</u>
	License # <u>0011131</u>
	Address <u>8900 SW 117 Ave, #B107</u>
	City, State, Zip <u>Miami, FL 33186</u>
	Phone #: <u>305-275-8383</u> Cell #: <u>786-326-8380</u>
	Email Address: <u>anaros@bellsouth.net</u>

CONTRACTOR INFORMATION	ARCHITECT/ ENGINEER
Permit Type -- Check only One	Change to Permit -- Check only One
☒ Building ☐ Electrical ☐ Mechanical ☐ Plumbing/Gas	☐ Extension ☐ Renewal ☐ Revision
☐ Paving/Drainage ☐ Sign ☐ Roofing ☐ PW	☐ Change Contractor ☐ Shop Drawing ☐ Cancellation

Application is hereby made to obtain a permit to do work and installation as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards, of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for ELECTRICAL WORK, MECHANICAL, PLUMBING, SIGNS, WELLS, POOLS, RE-ROOFING, SHUTTERS, WINDOWS, FURNACES, BOILERS, HEATERS, TANKS, and AIR CONDITIONERS, etc. I understand that in signing this application I am responsible for the supervision and completion of the construction including scheduling of inspections and obtaining final inspections in accordance with the plans and specification WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR ATTORNEY OR LENDER BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. OWNER/ CONTRACTOR AFFIDAVIT: I Certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning.

X
Signature of Owner or Owner's Agent Phil Serrate Date 3/7/19
Print Name of Owner or Owner's Agent

X
Signature of Qualifier Phil Serrate Date 3/7/19
Print Name of Qualifier

STATE OF Florida COUNTY OF Dade

STATE OF Florida COUNTY OF Dade

Sworn to and subscribed before me this 7th of March 20 19

Sworn to and subscribed before me this 7th of March 20 19

by Phil Serrate

by Phil Serrate

Miami Dade County Department of Regulatory and Economic Resources - Job Code

3220006685 - 2/25/2020 10:50:54 AM

EXPIRES: September 3, 2020 Bonded Thru Notary Public Underwriters

NOTICE: In addition to the requirements

and restrictions enforced by the homeowner's associations

that may be found in the public records of this county, and there may be additional permits required from other governmental entities such as water management districts, state agencies, or federal agencies.

NOTE: This application will be void if there are no reviews after six (6) months.