

MIAMI-DADE COUNTY
DEPARTMENT OF REGULATORY AND ECONOMIC RESOURCES
<http://www.miamidade.gov/building/home.asp>
2/25/2020 10:50:33 AM

Tracking #	Process #	Permit #
3220006688	M2020006688	2020032514

THIS COPY OF PLANS MUST BE AVAILABLE ON BUILDING SITE OR AN INSPECTION WILL NOT BE MADE.

Process #	Review	Disposition	Reviewer	Date
M2020006688	DERM CORE	A	DIAZ, LOURDES	2/24/2020
M2020006688	UPFRONT FEES	A	WEB APPLICATION ID	1/29/2020
M2020006688	WASA	A	CORTES, OZZY	2/20/2020
M2020006688	IMPACT FEES	A	INTERNET IMPACT FEES (IFS)	2/7/2020

Disclaimer.

Subject to compliance with all Federal, State, and County Laws, rules and regulations. Miami-Dade County assumes no responsibility for accuracy of or results of these plans.

NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to the property that may be found in the public records of this county, and there may be additional permits required from other governmental entities such as water management districts, state agencies or federal agencies.

Stamp Name	Trade	Disposition	Stamp Description
Impact fee assessed	PWIF	A	Impact fee assessed by Miami-Dade County
Approved	DERM	A	Approved



1/29/2020

Issued Date: 1/29/2020

CAT Permit Processing Inc
13010 Stirling Road SW
Ranches, FL 33330

RE: Sanitary Sewer Certification of Adequate Capacity

The Miami-Dade County Department of Regulatory and Economic Resources (RER) has received your application for approval of additional sewer flows for the following project which is more specifically described in the attached project summary.

Project Name: New SFR Dunnwoody Lake / Lot 38/Block 1 / M2020006688
Project Location: 16051 NW 87 CT, MIAMI LAKES, FL 33018
Previous Use: Vacant Land.
Proposed Use: 2,843 SF Single Family Residence.
Previous Flow: 0 GPD
Total Calculated Flow: 210 GPD
Allocated Flow (additional sewer flows): 210 GPD
Sewer Utility: UNINCORPORATED DADE COUNTY
Receiving Pump Station: 30 - 1326

RER has evaluated your request in accordance with the terms and conditions set forth in Appendix A of the Consent Decree (CASE No. 1:12-CV-24400-FAM) between the United States of America and Miami-Dade County. RER hereby certifies that adequate treatment and transmission capacity is available for the above described project, pursuant to the criterion stipulated in Appendix A of said Consent Decree.

Furthermore, be advised that this approval does not constitute departmental approval for the proposed project and is subject to the terms and conditions set forth in the Consent Decree. Additional reviews and approvals may be required from other sections having jurisdiction over specific aspects of this project. Also, be advised that the gallons per day (GPD) flow determination indicated herein are for sewer allocation purposes only (in compliance with the Consent Decree requirements) and may not be representative of GPD flows used in calculating connection fees by the utility providing the service.

Be advised that this Sanitary Sewer Certification of Adequate Capacity (this letter) will expire within 90 days of the issue date if the applicant does not obtain a building process number from the corresponding building official. However, if the building process number has already been obtained, this letter will expire within 180 days of the expiration date of the process number. Finally, if a Building Permit was secured for this project, this letter will expire within 150 days of the expiration date of the Building Permit.

Should you have any questions regarding this matter, please contact the Miami-Dade Permitting and Inspecting Center (MDPIC) (786) 315-2800 or RER Office of Plan Review Services, Downtown Office (305) 372-6789.

Sincerely,

Lee N. Hefty
Director of Environmental Resources Management

For/By: _____

Frank Lezcano, Engineer III - Environmental Plan Review,
Department of Regulatory and Economic Resources

Miami-Dade County Department of Regulatory And Economic Resources - Job Copy

3220006688 - 2/25/2020 10:50:33 AM

2020-ALLOCATION-00277-CERT2-01292020-130444143.pdf

<u>Examiner</u>	<u>Date Time Stamp</u>	<u>Disp. Trade</u>	<u>Stamp Name</u>
Loudez Diaz	2/24/2020 12:58:48 PM A	DERM	Approved

Sanitary Sewer Certification of Adequate Capacity Project Summary:

Owner's Name:
Owner's Address:

EEOS Allocation Number: 2020-ALLOCATION-00277

Project: New SFR Dunnwoody Lake / Lot 38/Block 1 / M2020006688

Proposed Use: 2,843 SF Single Family Residence.

Pump Station: 30-1326
Projected NAPOT: 0.66
Proposed Projected NAPOT: 0.67

Folio	Lot/Block Bldg Proc #	Address	Flow (GPD)	Sewer Status	Sewer Cert Date	Sewer Recert Date	Exp. Date
3220160054100	/ BLR20200415	16051 NW 87 Ct.	210	APP	1/29/2020		
Total:			210 GPD				

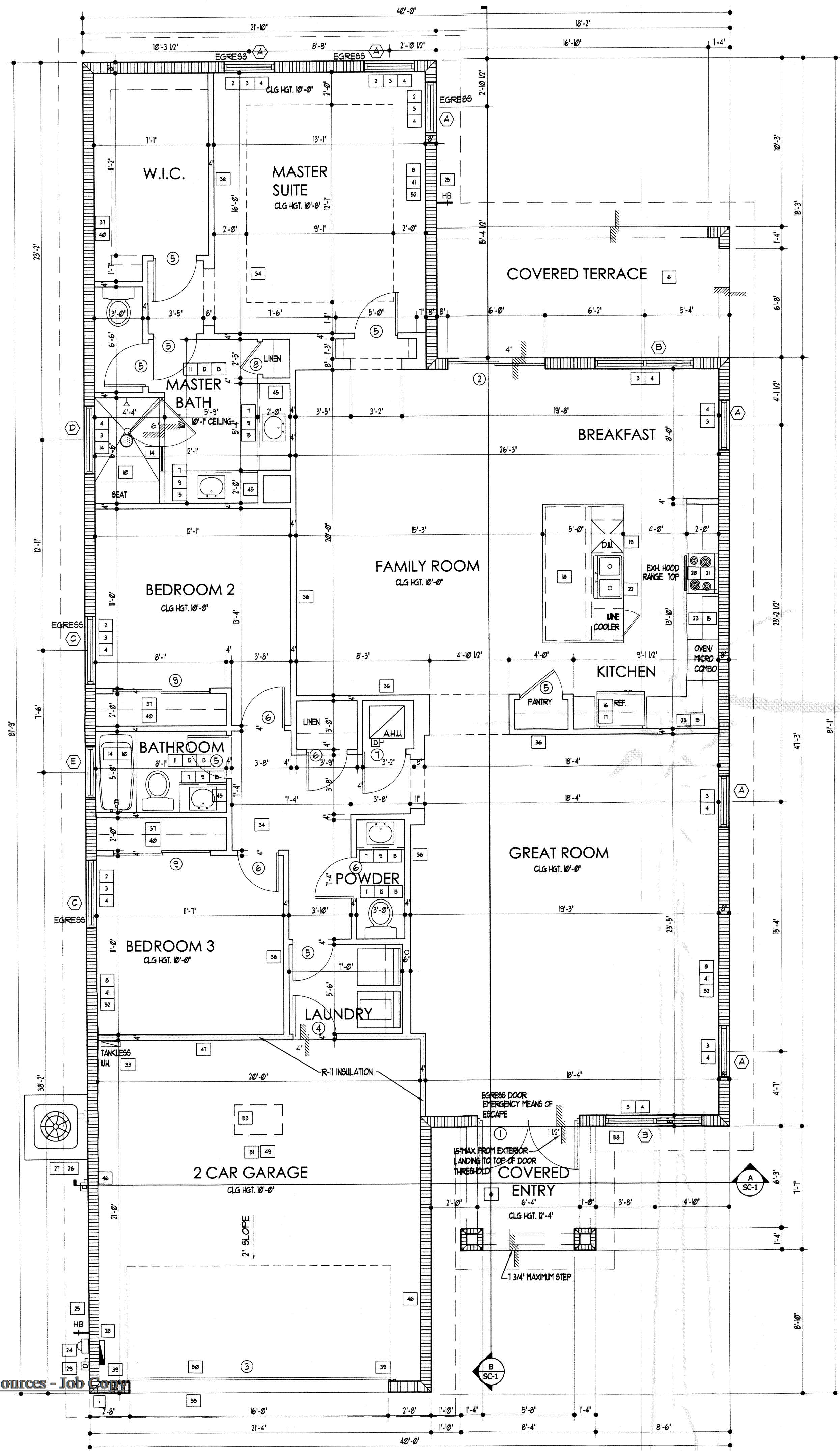
Miami Dade County Department of Regulatory And Economic Resources - Job Copy

3220006688 - 2/25/2020 10:50:33 AM

2020-ALLOCATION-00277-CERT2-01292020-130444143.pdf

Examiner Date Time Stamp Disp. Trade Stamp Name

Lorandes Diaz 2/24/2020 12:58:48 PM A DERM Approved



SQUARE FOOTAGE CALCS	
TOTAL LIVING AREA:	2,116 SQ.FT.
ENTRY PORCH:	63 SQ.FT.
GARAGE:	459 SQ.FT.
COVERED TERRACE:	145 SQ.FT.
TOTAL BUILDING AREA:	2,843 SQ.FT.

FLOOR PLAN - MODEL 2180

ISSUANCE FOR

☐ BIDDING ☐ CONSTRUCTION ☐ PERMIT

REV1

REV2

REV3

REV4

AFFIX SEAL HERE

Client: LENNAR HOMES

Address: 730 NW 107TH AVENUE, 3RD FLOOR

Address: MIAMI, FLORIDA 33172

Phone: 305-559-1951

Plan: DUNNWOODY LAKES- MODEL 2180 FLOOR PLAN

Job No.:

Drawn By:

Scale:

Date:

Lot:

Block:

EDWARD SILVA, ARCHITECT

REG. No. 0011131

8900 SW 117 AVE #B107, MIAMI, FLORIDA 33186

(305) 275-8383 / FAX - (305) 275-8381

E.S.A.

0000000000

0000000000

A-1

of

LARGE TREE PLANTING DETAIL

BIO-BARRIER DETAIL

TYPICAL TREE GUYING DETAIL

STRAIGHT TRUNK PALM PLANTING DETAIL

CURVED TRUNK PALM PLANTING DETAIL

TYPICAL SHRUB PLANTING DETAIL

TYPICAL CONTAINER SPACING DETAIL

TYPICAL GROUND COVER PLANTING DETAIL

SOD NOTES:

- Sod is to be grade "A" weed free.

-All areas marked "LAWN" shall be solid sodded with St. Augustine 'Floratum' solid sod. See limit on plan. All areas marked 'Bahia Grass' shall be solid sodded with Paspalum.

-Provide a 2" deep blanket of planting soil as described in planting notes this sheet. Prior to planting, remove stones, sticks, etc. from the sub soil surface. Excavate existing non-conforming soil as required so that the finish grade of sod is flush with adjacent pavement or top of curb as well as adjacent sod in the case of sod patching.

- Place sod on moistened soil, with edges tightly butted, in staggered rows at right angles to slopes.

-Keep edge of sod bed a minimum of 18" away from groundcover beds and 24" away from edge of shrub beds and 36" away from trees, measured from center of plant.

- Sod Shall be watered immediately after installation to uniformly wet the soil to at least 2" below the bottom of the sod strips.
- Excavate and remove excess soil so top of sod is flush with top of curb or adjacent pavement or adjacent existing sod.

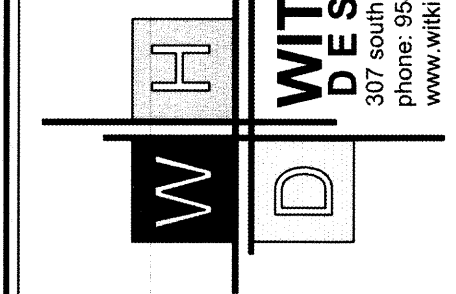
GENERAL NOTES:

-The Landscape Contractor is to locate and verify all underground and overhead utilities prior to beginning work. Contact proper utility companies and / or General Contractor prior to digging for field verification. The Owner and the Landscape Architect shall not be responsible for any damages to utility or irrigation lines (see Roadway Plans for more utility notes).

-Landscape Contractor is to verify all current drawings and check for discrepancies and bring to the attention of the Landscape Architect prior to commencing with the work.

- All unattended and unplanted tree pits are to be properly barricaded and flagged during installation.

-All planting plans are issued as directives for site layout. Any deviations, site changes, etcetera are to be brought to the attention of the Landscape Architect for clarification prior to installation.



**WITKIN HULTS
DESIGN GROUP**
307 south 21st avenue hollywood, florida
phone: 954.923.9681 facsimile: 954.923.9689
www.witkindesign.com

Dunnwoody Lake

Miami Lakes, Florida

LANDSCAPE DETAILS

Project:

[illegible]

Seal

NOV 25 2019

Lic. # LA0000889
Member: A.S.L.A.

Drawing: Landscape Details

Date: 12/19/2016

Scale: NTS

Drawn by: TGW

Sheet No.:

L-2

Cad Id.: 2015-107



Department of Regulatory and Economic Resources

Impact Fee Assessment

Process Number: M2020006688-0

Batch:

Collection Number:

Folio: 3220160050390

Site Address: 16051 NW 87 CT

CP*: N

Assessment Date: 01/29/2020

Fee Payer:

Disclaimer Note: *ROAD/FIRE/POL/PKS impact fees
will increase on 10/1/2019*

Online Payment available at:

CP*: Exempt from Public Records 119.071 Florida Statutes <https://www8.miamidade.gov/apps/rer/ImpactFeesPayments/default.aspx>

Y: Exempt

N: No Exempt

Blank: No info

Payment can be made by Credit Card, Cash, Check or Cashiers's Check

Payable to Miami Dade County

Fee Type	Dist Id	Category Code	Cat Suffix	Category Description	Units	Fee	Extended Amount	Deferred Amount
AREA								\$0.00
	3.0	5002	00	UNIT SIZE (SQ FT)	2,843	\$0.9180	\$2,609.87	
FIRE								\$0.00
	2.0	2007	00	RESIDENTIAL	1	\$440.4021	\$440.40	
PKIM								\$0.00
	1.5	4201	00	SFR DETACHED-IMPR-1	1	\$1,963.2135	\$1,963.21	
PKOS								\$0.00
	1.5	4101	00	SFR DETACHED-OPEN-1	1	\$2,129.7299	\$2,129.73	
POLC								\$0.00
	1.0	3001	00	RESIDENTIAL	1	\$574.6915	\$574.69	
ROAD								\$0.00
	3.0	210	00	SINGLE-FAMILY DETACHED	1	\$9,769.6280	\$9,769.63	
SCHL								\$0.00
	3.0	5001	00	RESIDENTIAL UNIT	1	\$612.0000	\$612.00	

Assessment Total Amount: \$18,099.53

Deferral Amount: \$0.00

Current Balance Due: \$18,099.53

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M2020006688-Impact_Fee_Assessment.pdf

Examiner Date Time Stamp Disp. Trade Stamp Name:

James Gattorno 1/29/2020 12:44:28 PM A PWIF Impact fee assessed

Lydiacabrera@catpermitprocessing.com

NOTE: ALL SHEET MUST BE REVIEWED
MIAMI-DADE COUNTY DEPARTMENT OF REGULATORY AND ECONOMIC RESOURCES

Herbert S. Saffir Permitting and Inspection Center
11805 SW 26th Street (Coral Way) • Miami, Florida 33175-2474 • (786) 315-2000

**APPLICATION FOR MUNICIPAL PERMIT APPLICANTS
THAT REQUIRE PLAN REVIEW FROM MIAMI-DADE FIRE RESCUE
AND/OR ENVIRONMENTAL SERVICES**

M2020006688 3220006688 BLA 2020-0415

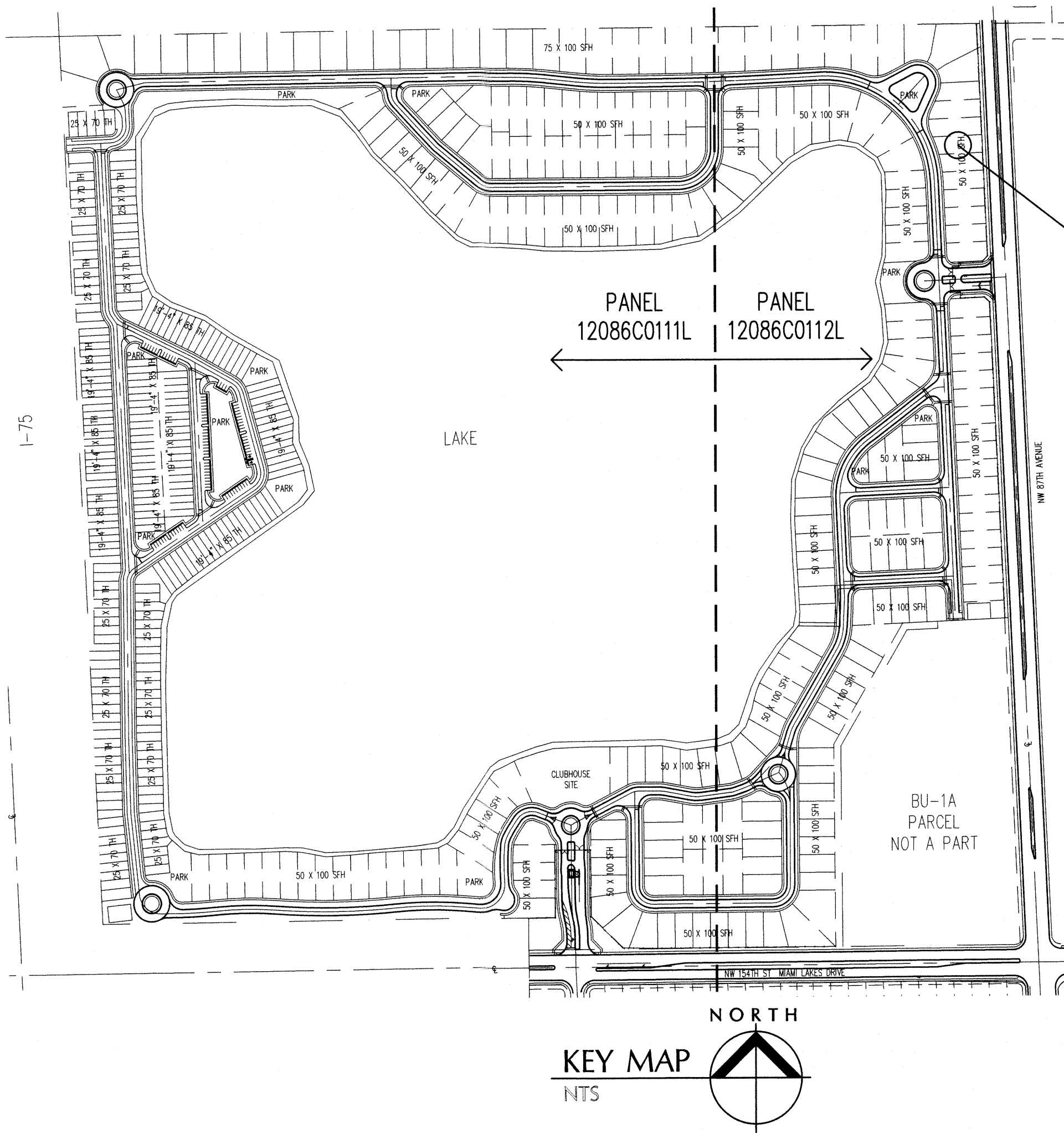
PROVIDE MUNICIPAL PROCESS NUMBER HERE			
LOCATION OF IMPROVEMENTS	Job Address <u>16051 NW 87 CT</u>		CONTRACTOR INFORMATION
	Folio <u>32-2016-005- 0390</u>		
TYPE OF IMPROVEMENTS	Lot <u>39</u> Block <u>01</u>		Contractor No. <u>DRYRUN</u>
	Subdivision <u>Dunn Woody Lakes 50</u> Bpg <u></u>		
PERMIT TYPE	Metes and bounds <u></u>		Last four (4) digits of Qualifier No. <u></u>
REVIEW STATUS	☒ New Construction on Vacant Land		Contractor Name <u>DRYRUN</u>
	☐ Alteration Interior		
PERSON TO PICK UP PLANS	☐ Demolish		Qualifier Name <u></u>
	☐ Shell Only		
FIRE SPECIAL REQUEST PLAN REVIEW (SRI)	☐ Alteration Exterior		Address <u></u>
	☐ Relocation of Structure		
ARCHITECT / ENGINEER	☐ Enclosure		City <u></u> State <u></u> Zip <u></u>
	☐ Repair		
OPTIONAL PLAN REVIEW (OPR)	☐ Repair Due to Fire		Current use of property <u>VACANT</u>
OWNER'S NAME	☐ MELE		Description of Work <u>New SFR Model 2180</u>
	☐ MLPG		
FIRE SPECIAL REQUEST PLAN REVIEW (SRI)	☐ MMEC		Sq. Ft. <u>2843</u> Units <u>1</u> Floors <u></u>
	☐ FIRE		
PERSON TO PICK UP PLANS	☐ Chg. Contractor		Value of Work <u>\$75,000.00</u>
	☐ Re-Issue		
FIRE SPECIAL REQUEST PLAN REVIEW (SRI)	☐ Re-Stamp		Owner <u>LENNAR HOMES</u>
	☐ Revision		
OPTIONAL PLAN REVIEW (OPR)	☐ Not Applicable for Fire		Address <u>730 NW 107TH AVE</u>
FIRE SPECIAL REQUEST PLAN REVIEW (SRI)	Name <u>CAT PERMIT PROCESSING INC.</u>		City <u>MIAMI</u> State <u>FL</u> Zip <u></u>
	Address <u>13010 Stirling Road SW</u>		
OPTIONAL PLAN REVIEW (OPR)	City <u>Ranches</u> State <u>FL</u> Zip <u>33330</u>		Phone <u>786-348-3251</u>
	Phone <u>786-348-3251</u>		
FIRE SPECIAL REQUEST PLAN REVIEW (SRI)	1st Request: <u></u> Date: <u></u>		2nd Request: <u></u> Date: <u></u>
	2nd Request: <u></u> Date: <u></u>		
OPTIONAL PLAN REVIEW (OPR)	3rd Request: <u></u> Date: <u></u>		3rd Request: <u></u> Date: <u></u>
FIRE SPECIAL REQUEST PLAN REVIEW (SRI)	I am requesting a Special Request Plan Review (SRI) to be scheduled as soon as possible at the rate of \$190 for the first hour and \$65 per each additional hour in addition to the review fees. Minimum charge one-hour.		I am requesting Optional Plan Review (OPR) to be scheduled as soon as possible at the rate of \$75 for each discipline. Additional review fees may apply.
OPTIONAL PLAN REVIEW (OPR)	1st Request: <u></u> Date: <u></u>		2nd Request: <u></u> Date: <u></u>
	2nd Request: <u></u> Date: <u></u>		
FIRE SPECIAL REQUEST PLAN REVIEW (SRI)	3rd Request: <u></u> Date: <u></u>		3rd Request: <u></u> Date: <u></u>

Miami Dade County Department of Regulatory And Economic Resources Job Copy

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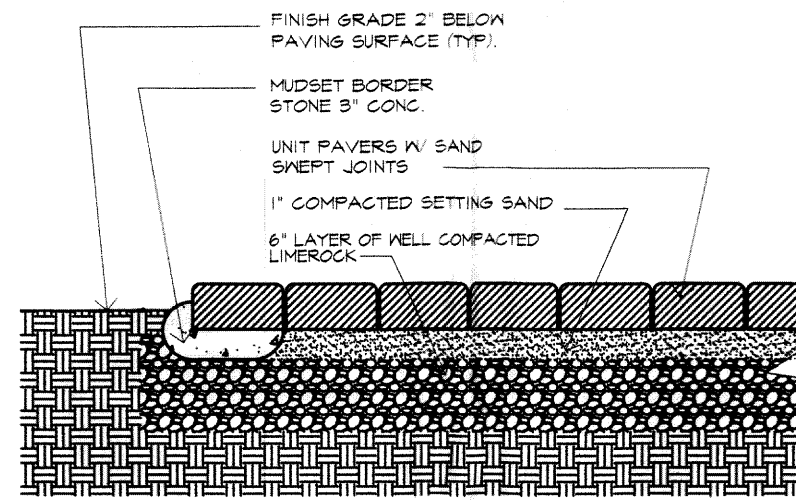
MDC Permit Application.pdf

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LEGAL DESCRIPTION	
LEGAL DESCRIPTION: LOT 38, BLOCK 1, SUBDIVISION: DUNNWOODY LAKE	
P.B. PG. DEVELOPMENT NAME: DUNNWOODY	
LOCATED AT (Address):	

PROPOSED
LOCATION



PAVERS
NOT TO SCALE

NOTE:
This Plot Plan has been prepared for the specific purpose of showing setbacks and utilities access in order to obtain a building permit.
The exact location of the building within the lot lines shall be measured from a layout drawing prepared by a certified surveyor.

NOTE:
LOT LINE DIMENSIONS, BEARINGS AND LOT AREA INFORMATION PROVIDED IS BASED ON A PLAT PREPARED BY: **FORD ENGINEERS, INC.**

CROWN OF THE ROAD ELEVATION IS BASED ON PAVING AND DRAINAGE PLANS PREPARED BY: **SRS ENGINEERING, INC.**
ALL CONDITIONS SHALL BE VERIFY ON THE FIELD.

FLOOD INFORMATION	
FLOOD ZONE:	'X'
PANEL NUMBER :	112 of 1031
MAP NUMBER :	12086C0112L
DATE :	SEPT. 11, 2009
BASE FLOOD ELEV.:	+6.00
PROPOSED FF. ELEV.:	+9.07'
PROP. A/C PAD ELEV.:	+9.07'
PROPOSED GARAGE ELEV.:	+8.53'
HIGHEST ELEV. OF ROAD	+7.41
HIGHEST BACK OF SIDEWALK ELEV.:	+7.43

LOMR-F Case No: 16-04-6236A

ZONING LEGEND

SINGLE FAMILY 4 TOWNHOMES

ZONING: R-1-B		
Net Land Area	6,464 S.F.	
Lot Coverage (everything under roof)	43.58%	
SETBACKS:	REQUIRED	PROVIDED
Front	* 15' FOR 50% OF WIDTH, REMAINING AT 25' MINIMUM 20' AT GARAGE, RES B-1334 (XXVI)	20'-0"
Interior Side	5'-0"	5'-0"
Side Street	5'-0"	N/A
Rear	** 15' FOR 50% OF WIDTH, REMAINING AT 25' MINIMUM, RES B-1334 (XXVI)	25'-11"

Area adjacent to lake or canal to be graded so as to prevent direct overland discharge of stormwater into lake or canal.

Lot will be graded so as to prevent direct overland discharge of overland discharge of stormwater onto adjacent property. Applicant will provide certification prior to final inspection.

ANY APPLICABLE RESOLUTIONS:

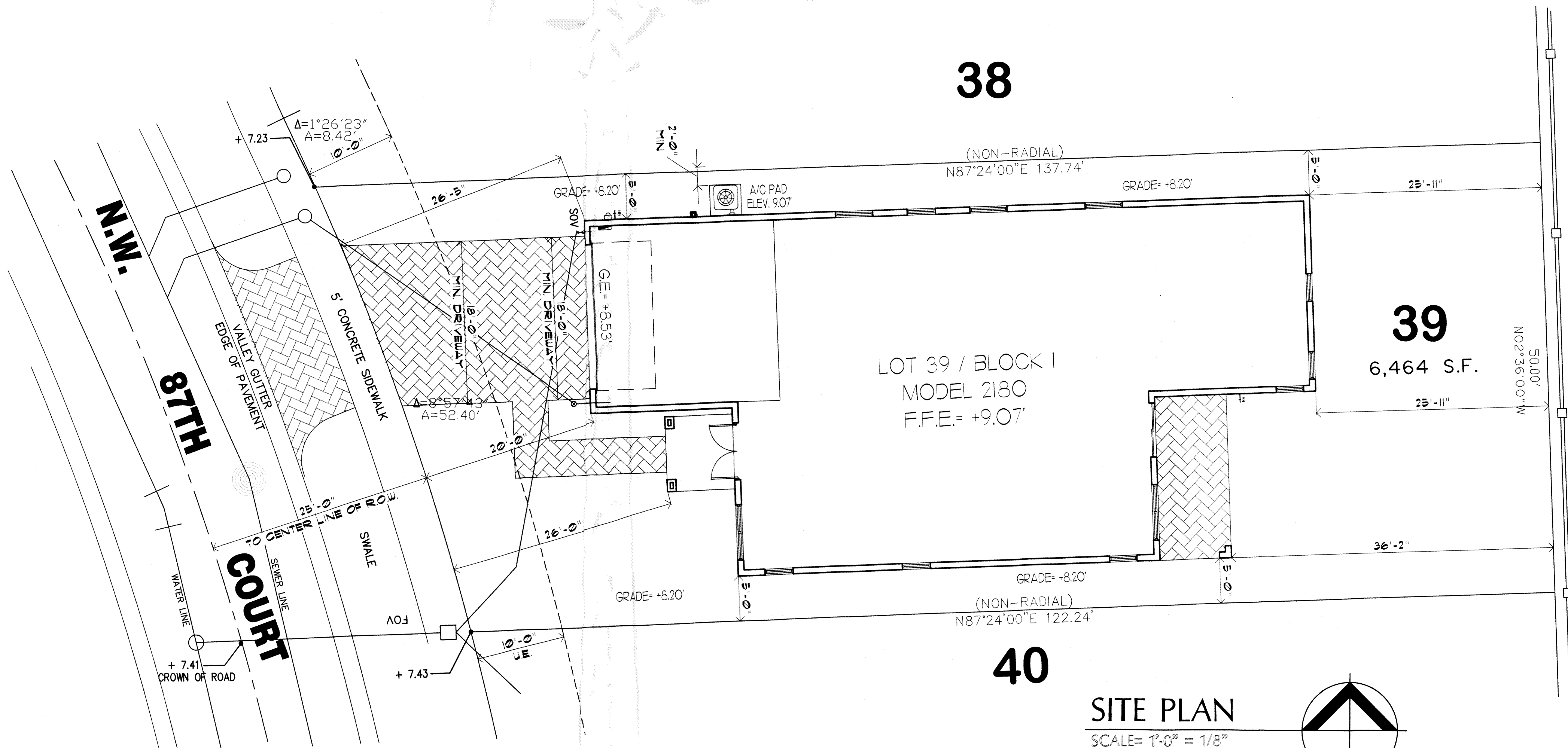
NOTICE:

In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the Public Records of this County. Section 895.19(10), Florida Statutes, effective 7/10/07.

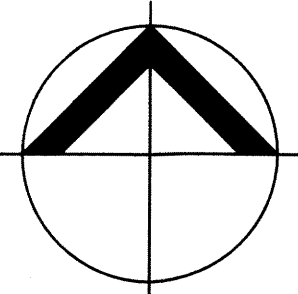
A separate permit will be required for all driveway approaches onto public right-of-way. Contact Public Works Department.

The height of the fences, wall and hedges shall not exceed 25 feet in height within 10 feet of the edge of any driveway leading to any right-of-way.

The height of fences is being measured from grade. Grade = Elevation of public sidewalk or crown of road.



SITE PLAN
SCALE= 1"=0' = 1/8"



PASCUAL
PEREZ
KILIDDJIAN
& ASSOCIATES
ARCHITECTS - PLANNERS
LICENSE # AA 26001357

EDGARDO PEREZ, AIA
LICENSE No.: AR 0015394
MARIO P. PASCUAL, AIA
LICENSE No.: AR 0008254
PETER KILIDDJIAN, RA
LICENSE No.: AR 0093067

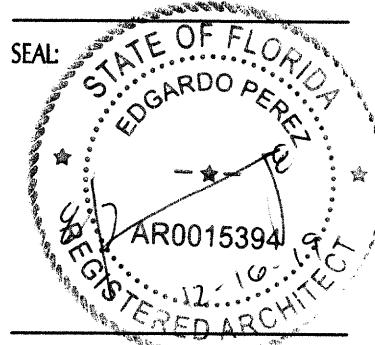
AT THE BEACON CENTER
1300 NW 84th AVENUE
DORAL, FLORIDA 33126
TELEPHONE: (305) 592-1363
FACSIMILE: (305) 592-6865
http://www.ppkarch.com

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REVISIONS:

OWNER:
LENNAR HOMES
730 NW 107th AVENUE
MIAMI, FLORIDA 33172

DUNNWOODY
BY
LENNAR HOMES
CITY OF HIALEAH, FLORIDA



PLOT PLAN
MODEL 2180

LOT 39 - BLOCK 1
DATE: 12.6.19
SCALE: AS SHOWN
DRAWN: GR
CHECK BY:
JOB NO.: 15-42

SP-1

SHEET NO.:

Miami Dade County Department of Regulatory And Economic Resources - Job Copy
3220006688 - 2/25/2020 10:50:33 AM
SP-1.PDF
Examiner Date Time Stamp Disp. Trade Stamp Name
Lourdes Diaz 2/24/2020 12:59:18 PMA DERM Approved

Lennar/DunnWoody Lakes SFR 50s

Lot	Blk	Address	Model	Permit #	Process #
118239	39	01	16051 NW 87 CT	2180	C

JOB COPY

BLR2020-0415

16051 NW 87 CT

Hand Permit BLR2019-0620

TOWN OF MIAMI LAKES

THIS COPY OF PLANS MUST BE AVAILABLE ON BUILDING SITE OR NO INSPECTION WILL BE GIVEN

SECTION	APPROVED		DISAPPROVED	
	BY	DATE	BY	DATE
ZONING				
LANDSCAPING				
PUBLIC WORKS				
BUILDING				
UTILITIES				
HANDICAP				
STRUCTURAL				
ELECTRICAL				
PLUMBING				
MECHANICAL				
ENERGY				
FIRE				

Customer hereby warrants that all information provided on these plans is true and correct to the best of their knowledge and belief. The Town of Miami Lakes assumes no responsibility for accuracy of or reliance upon these plans.

Customer is advised that the requirements of this permit may be additional to those applicable to the jurisdiction of the County and State.



Address: 16051 NW 87 CT
Folio #: 32-20160050390
MDC Process #: <u>m2020006688</u>
MDC Tracking #: <u>3220006688</u>
Job Description: LENNAR TYPICAL MODEL 2180

Master Permit #: BLR2020-0415 Sub Permit #: _____ Revision #: _____

OFFICE USE ONLY

ZONING	☐ Approved	Date	☐ Disapproved	BUILDING	☐ Approved	Date	☐ Disapproved	STRUCT.	☐ Approved	Date	☐ Disapproved
	Date				Date				Date		
	Initials				Initials				Initials		
ROOFING	☐ Approved	Date	☐ Disapproved	ELECT.	☐ Approved	Date	☐ Disapproved	MECH.	☐ Approved	Date	☐ Disapproved
	Date				Date				Date		
	Initials				Initials				Initials		
PLUMBING	☐ Approved	Date	☐ Disapproved	FLOOD	☐ Approved	Date	☐ Disapproved		☐ Approved	Date	☐ Disapproved
	Date				Date				Date		
	Initials				Initials				Initials		

PLANS CHECKED-OUT

DATE	NAME

PLANS CHECKED-IN

DATE	NAME

	AMOUNTS
BASE PERMIT	
ZONING FEE	
CODE COMPLIANCE FEE	
TECHNOLOGY FEE	
DBPR SURCH. STATE	
DBPR SURCH. BUILDING	
SCANNING FEE	
WORK W/O PERMIT FEE	
UPFRONT FEE PAID	250
BALANCE DUE:	

Miami Dade County Department of Regulatory and Economic Resources - Job Copy

3220006688 - 2/25/2020 10:50:33 AM

TOML Permit Application.pdf
Issuing Clerk: _____ Date: ____/____/____



6601 Main St • Miami Lakes, Florida, 33014
Office: (305) 827-4015 • Fax: (305) 558-9884
Website: www.miamilakes-fl.gov

BUILDING PERMIT APPLICATION

Job Address: 16051 NW 87 CT

Unit #:

Folio #: 32- 2016-005- 0390 Owner-Builder: ☒

Master Permit #: BLR2020-0415 Sub Permit #: _____ Revision #: _____

OWNER INFORMATION	LEGAL USE/ WORK
NAME : Lennar Homes	Current Use of Property: <u>Vacant</u>
Address: 730 NW 107th Avenue 3rd Floor	Job Description <u>SFR Model 2180</u>
City, State, Zip Miami, FL 33172	<u>MASTER BLR20190620</u>
Phone #: 786-348-3251 Cell #: 786-348-3251	Lot <u>39</u> Blk <u>1</u>
Email Address: lydiacabrera@catpermitprocessing.com	JOB COST \$ <u>\$230,994</u> AREA/LENGTH: <u>2,843</u> SF/LF
Company Name: Lennar Homes	Residential ☒ Multi-Family ☐ Commercial ☐ Industrial ☐
Qualifier Name: Phil Serrate	Code in Effect: _____
License # CGC062343	Occupancy: _____
Address 730 NW 107th Avenue 3rd Floor	Construction Type: _____
City, State, Zip Miami, FL 33172	Flood Zone/B.F.E.: _____ F.F.E.: _____
Phone #: 305-970-1692 Cell #: 786-348-3251	Firm Name: <u>ESA Architects</u>
Email Address: lydiacabrera@catpermitprocessing.com	A/E of record: <u>Ed Silva</u>
	License # <u>0011131</u>
	Address <u>8900 SW 117 Ave, #B107</u>
	City, State, Zip <u>Miami, FL 33186</u>
	Phone #: <u>305-275-8383</u> Cell #: <u>786-326-8380</u>
	Email Address: <u>anaros@bellsouth.net</u>

CONTRACTOR INFORMATION	ARCHITECT/ ENGINEER
Permit Type -- Check only One	Change to Permit -- Check only One
☒ Building ☐ Electrical ☐ Mechanical ☐ Plumbing/Gas	☐ Extension ☐ Renewal ☐ Revision
☐ Paving/Drainage ☐ Sign ☐ Roofing ☐ P/W	☐ Change Contractor ☐ Shop Drawing ☐ Cancellation

Application is hereby made to obtain a permit to do work and installation as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards, of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for ELECTRICAL WORK, MECHANICAL, PLUMBING, SIGNS, WELLS, POOLS, RE-ROOFING, SHUTTERS, WINDOWS, FURNACES, BOILERS, HEATERS, TANKS, and AIR CONDITIONERS, etc. I understand that in signing this application I am responsible for the supervision and completion of the construction including scheduling of inspections and obtaining final inspections in accordance with the plans and specification WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR ATTORNEY OR LENDER BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. OWNER/ CONTRACTOR AFFIDAVIT: I Certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning.

Signature of Owner or Owner's Agent

Date 3/7/19

Phil Serrate

Print Name of Owner or Owner's Agent

X

Signature of Qualifier

Date 3/7/19

Phil Serrate

Print Name of Qualifier

STATE OF Florida COUNTY OF Dade

Sworn to and subscribed before me this 7th of March 20 19

Sworn to and subscribed before me this 7th of March 20 19

by Phil Serrate

by Phil Serrate

Personally known ☒ or I.D. ☐

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MARIA LEVY
MY COMMISSION # FF988551
EXPIRES: September 3, 2020
Bonded Thru Notary Public Underwriters

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MY COMMISSION # FF988551
EXPIRES: September 3, 2020
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NOTICE: In addition to the requirements

and restrictions enforced by the homeowner's associations

that may be applicable to this property that may be found in the public records of this county, and there may be additional permits required from other governmental entities such as water management districts, state agencies, or federal agencies.

NOTE: This application will be void if there are no reviews after six(6) months.