

MIAMI-DADE COUNTY
DEPARTMENT OF REGULATORY AND ECONOMIC RESOURCES
<http://www.miamidade.gov/building/home.asp>
1/14/2020 4:47:37 PM

Tracking #	Process #	Permit #
3220005231	M2020005231	2020022733

THIS COPY OF PLANS MUST BE AVAILABLE ON BUILDING SITE OR AN INSPECTION WILL NOT BE MADE.

Process #	Review	Disposition	Reviewer	Date
M2020005231	UPFRONT FEES	A	WEB APPLICATION ID	12/27/2019
M2020005231	DERM CORE	A	IZQUIERDO, GICELA	1/14/2020
M2020005231	IMPACT FEES	A	RICHARDSON, KEITH	1/14/2020
M2020005231	DERM WETLANDS	N	IZQUIERDO, GICELA	1/14/2020
M2020005231	DERM PAVING & DRAINAGE	N	IZQUIERDO, GICELA	1/14/2020
M2020005231	DERM POLLUTION	N	IZQUIERDO, GICELA	1/14/2020
M2020005231	WASA	A	CORTES, OZZY	1/14/2020

Disclaimer.

Subject to compliance with all Federal, State, and County Laws, rules and regulations. Miami-Dade County assumes no responsibility for accuracy of or results of these plans.

NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to the property that may be found in the public records of this county, and there may be additional permits required from other governmental entities such as water management districts, state agencies or federal agencies.

Stamp Name	Trade	Disposition	Stamp Description
Impact fee assessed	PWIF	A	Impact fee assessed by Miami-Dade County
Approved	DERM	A	Approved



12/31/2019

Issued Date: 12/31/2019

LENNAR HOMES LLC
LENNAR HOMES LLC
730 NW 107 AVE 4FL
MIAMI, FL 33172

RE: Sanitary Sewer Certification of Adequate Capacity

The Miami-Dade County Department of Regulatory and Economic Resources (RER) has received your application for approval of additional sewer flows for the following project which is more specifically described in the attached project summary.

Project Name: M2020005231
Project Location: 15810 NW 87 CT ST, MIAMI LAKES, FL
Previous Use: VACANT
Proposed Use: 2531 SQ FT SFR(A/C)
Previous Flow: 0 GPD
Total Calculated Flow: 210 GPD
Allocated Flow (additional sewer flows): 210 GPD
Sewer Utility: UNINCORPORATED DADE COUNTY
Receiving Pump Station: 30 - 1326

RER has evaluated your request in accordance with the terms and conditions set forth in Appendix A of the Consent Decree (CASE No. 1:12-CV-24400-FAM) between the United States of America and Miami-Dade County. RER hereby certifies that adequate treatment and transmission capacity is available for the above described project, pursuant to the criterion stipulated in Appendix A of said Consent Decree.

Furthermore, be advised that this approval does not constitute departmental approval for the proposed project and is subject to the terms and conditions set forth in the Consent Decree. Additional reviews and approvals may be required from other sections having jurisdiction over specific aspects of this project. Also, be advised that the gallons per day (GPD) flow determination indicated herein are for sewer allocation purposes only (in compliance with the Consent Decree requirements) and may not be representative of GPD flows used in calculating connection fees by the utility providing the service.

Be advised that this Sanitary Sewer Certification of Adequate Capacity (this letter) will expire within 90 days of the issue date if the applicant does not obtain a building process number from the corresponding building official. However, if the building process number has already been obtained, this letter will expire within 180 days of the expiration date of the process number. Finally, if a Building Permit was secured for this project, this letter will expire within 150 days of the expiration date of the Building Permit.

Should you have any questions regarding this matter, please contact the Miami-Dade Permitting and Inspecting Center (MDPIC) (786) 315-2800 or RER Office of Plan Review Services, Downtown Office (305) 372-6789.

Sincerely,

Lee N. Hefty
Director of Environmental Resources Management

For/By: _____
Cristian Guerrero, P.E., Chief of Environmental Plan Review.
Department of Regulatory and Economic Resources.

Miami Dade County Department of Regulatory And Economic Resources - Job Copy

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2019-ALLOCATION-04395.pdf

Sanitary Sewer Certification of Adequate Capacity Project Summary:

Owner's Name: LENNAR HOMES LLC
Owner's Address: 730 NW 107 AVE 4FL
MIAMI, FL 33172

EEOS Allocation Number: 2019-ALLOCATION-04395

Project: M2020005231

Proposed Use: 2531 SQ FT SFR(A/C)

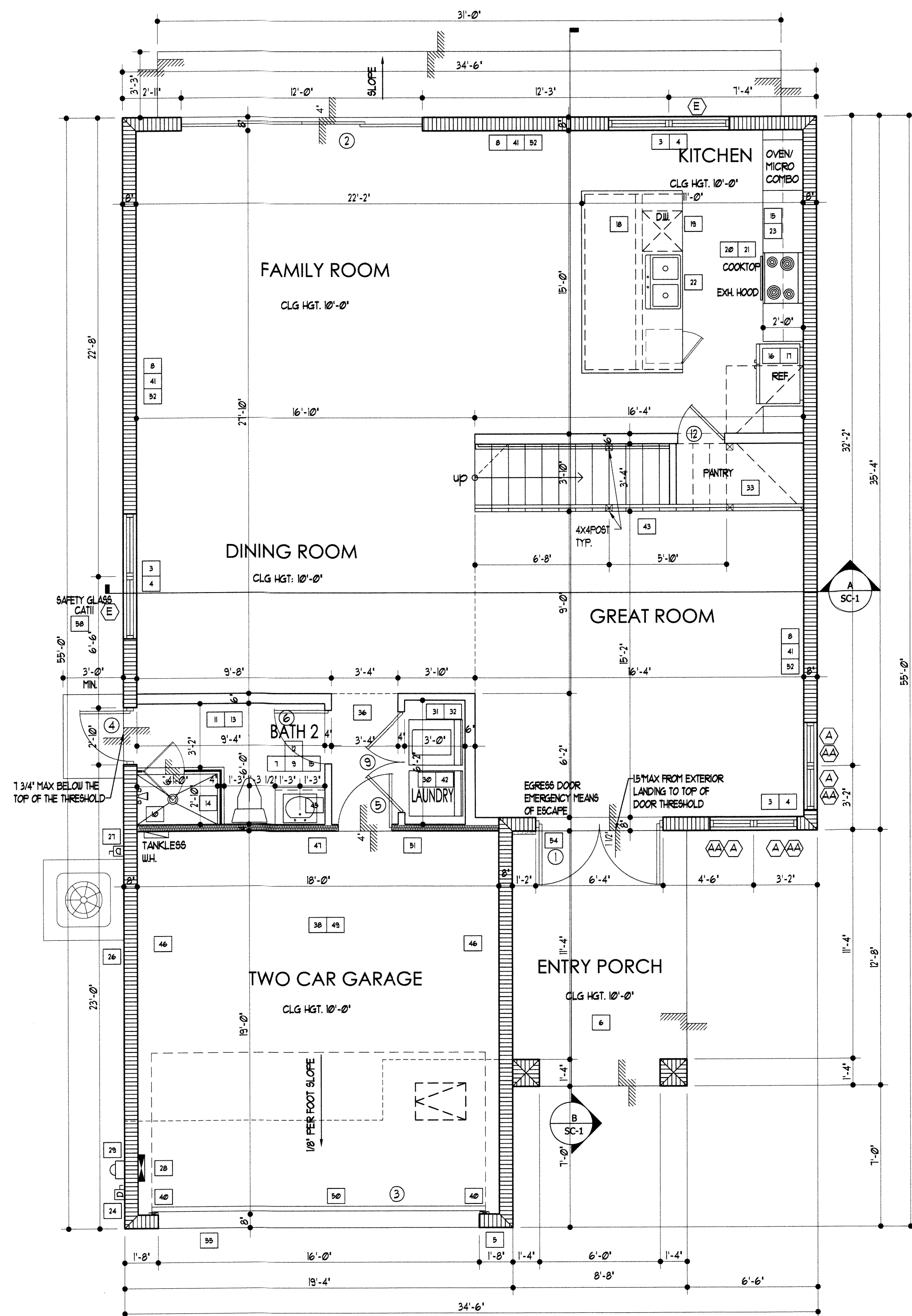
Pump Station: 30-1326
Projected NAPOT: 0.62
Proposed Projected NAPOT: 0.63

Folio	Lot/Block Bldg Proc #	Address	Flow (GPD)	Sewer Status	Sewer Cert Date	Sewer Recert Date	Exp. Date
3220160051530	3/6 BLR2019-5232		210	APP	12/31/2019		
Total:			210 GPD				

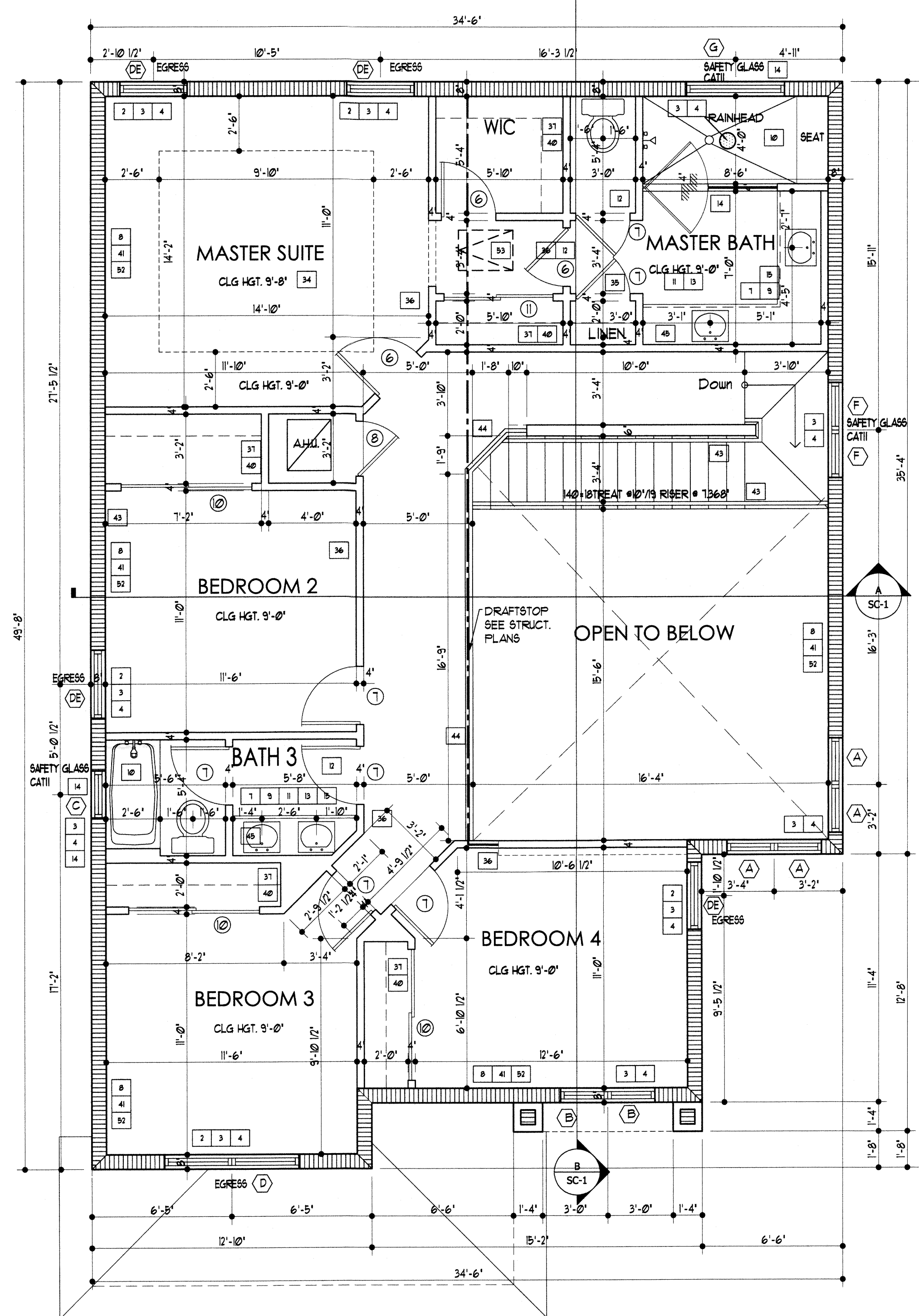
Miami Dade County Department of Regulatory And Economic Resources - Job Copy

3220005231 - 1/14/2020 4:47:37 PM

2019-ALLOCATION-04395.pdf



FIRST FLOOR PLAN - MODEL 2536



SECOND FLOOR PLAN - MODEL 2536

SQUARE FOOTAGE CALCS

FIRST FLOOR LIVING AREA:	1219 SQ.FT.
SECOND FLOOR LIVING AREA:	1312 SQ.FT.
TOTAL LIVING AREA:	2531 SQ.FT.
GARAGE:	380 SQ.FT.
ENTRY PORCH:	110 SQ.FT.
TOTAL BUILDING AREA:	3021 SQ.FT.

ISSUANCE FOR
BIDDING CONSTRUCTION PERMIT

REV1
REV2
REV3
REV4
AFFIX SEAL HERE

Client: LENNAR HOMES
Address: 730 NW 107TH AVENUE, 3RD FLOOR
Address: MIAMI, FLORIDA 33172
Phone: 305-559-1951
Plan: DUNNWOODY LAKES- MODEL 2536
FLOOR PLAN

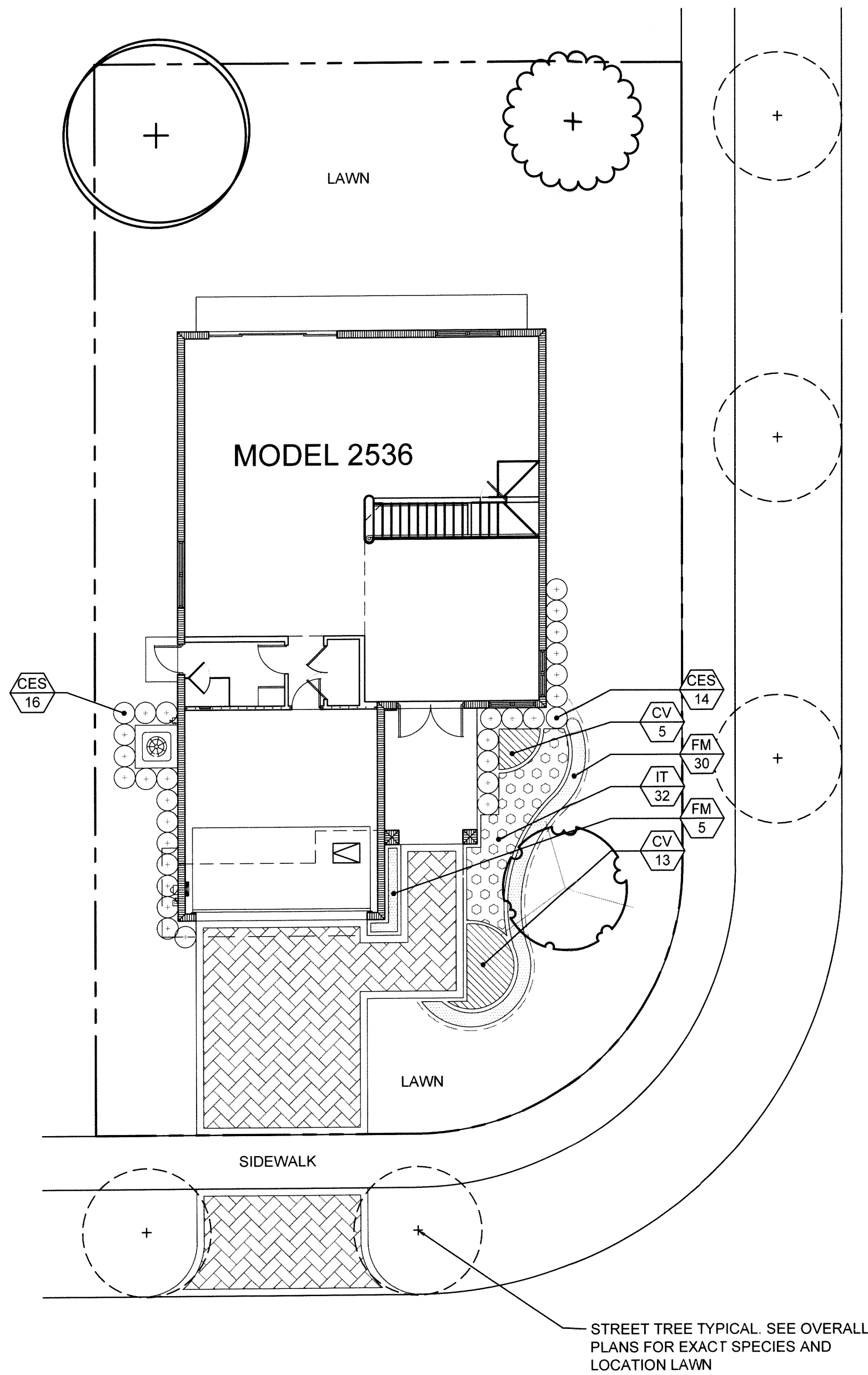
Job No.:
Drawn By: 1/4"=1'-0"
Scale:
Date: 02-02-18
Lot:
Block:

EDWARD SILVA, ARCHITECT
REG. No. 0011131
8900 SW 117 AVE #B107, MIAMI, FLORIDA 33186
(305) 275-8383 / FAX - (305) 275-8381

E.S.A.

A-1

of



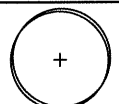
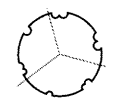
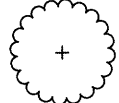
CORNER LANDSCAPE PLAN

Scale: 1"=10'-0"

CORNER LANDSCAPE LEGEND CHAPTER 18A			
ZONE DISTRICT: SINGLE FAMILY HOMES			
Gross Land: 5,365 sq. ft. Net Land: 5,465 sq. ft. Water Bodies: 0			
Landscape Open Space (if applicable)	REQ.	PROV.	
Greenbelt Width (if applicable)	N/A	N/A	
Lawn Area (As defined in Ordinance)	35%	35%	
TREES: Trees per Lot: 3 Palms = 2 to 1	3	3	
Note: 30% of required trees and/or palms shall be native species. Street Trees: 144 / 35 = 4.1 35' oc	5	5	
TOTAL NUMBER OF TREES	8	8	
SHRUBS: (10 shrubs for each tree req.)	80	80	
30% shrubs/hedge shall be native species.	24	30	

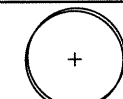
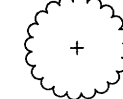
Irrigation system required pursuant to Chapter 18A of Miami-Dade Code

CORNER LANDSCAPE LIST

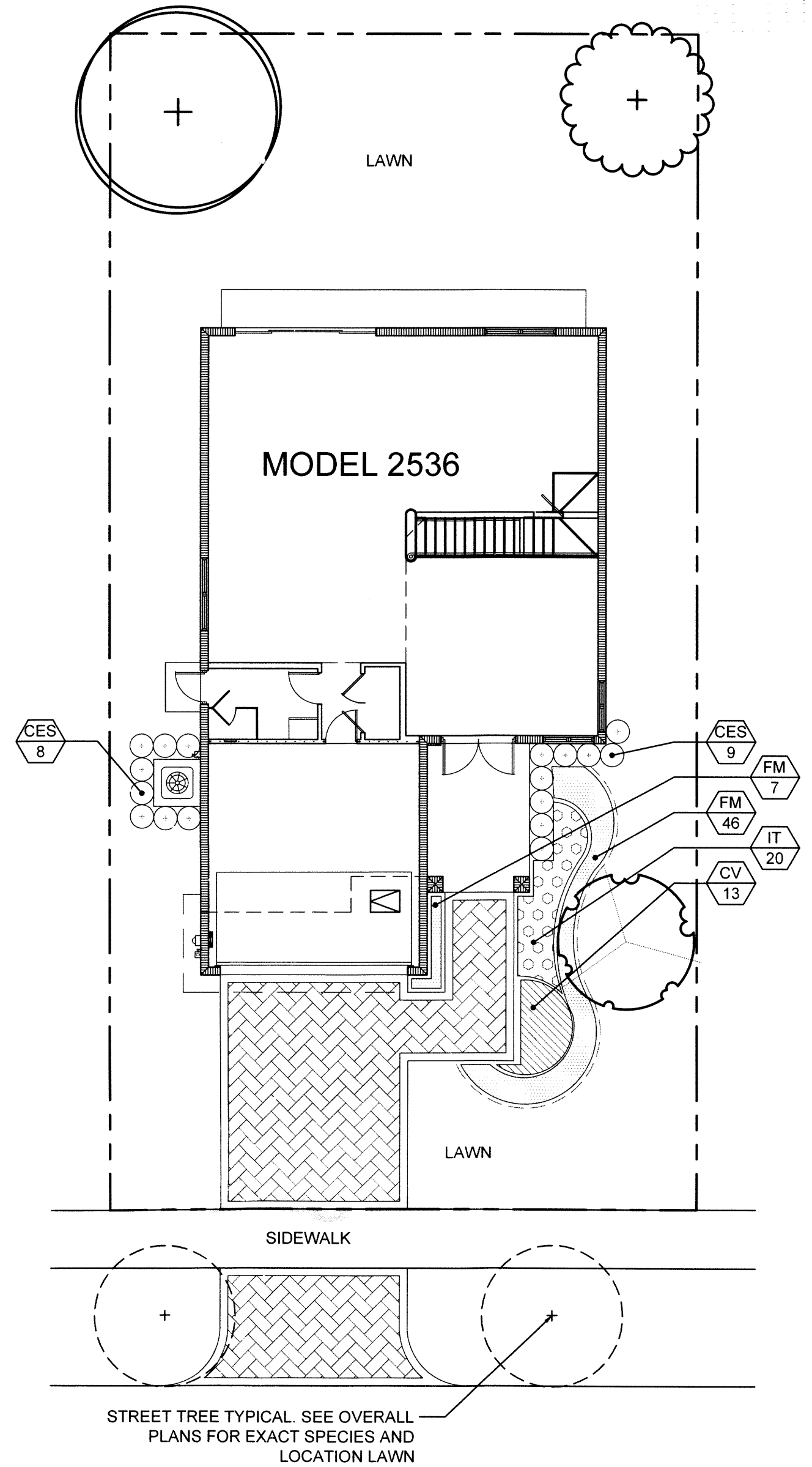
TREES			
SYMBOL	QUAN.	PROPOSED MATERIAL	DESCRIPTION
	1	Senna surattensis GLAUCOUS CASSIA	10' HT. X 4' SPR. 2" DBH. F.G.
	1	Calophyllum brasiliense BRAZILIAN BEAUTYLEAF	10' HT. X 4' SPR. 2" DBH. F.G.
	1	*Conocarpus erectus 'sericeus' SILVER BUTTONWOOD	10' HT. X 4' SPR., 2" DBH. F.G.
SHRUBS AND GROUNDCOVERS			
SYMBOL	QUAN.	PROPOSED MATERIAL	DESCRIPTION
CES	30	*Conocarpus erectus 'sericeus' SILVER BUTTONWOOD	24" HT. X 24" SPR. / 24" O.C. 3 GAL.
CV	18	Codiaeum variegatum 'Stoplight' CROTON	18" HT. X 18" SPR. / 18" O.C. 3 GAL.
FM	35	Ficus microcarpa 'Green Island' GREEN ISLAND FICUS	15" HT. X 15" SPR. / 15" O.C. 3 GAL.
IT	32	Ixora taiwanese 'Dwarf' DWARF IXORA	18" HT. X 18" SPR. / 18" O.C. 3 GAL.
LAWN	As Required	Stenotaphrum secundatum 'Floritam' ST. AUGUSTINE GRASS	SOLID EVEN SOD

* DENOTES NATIVE SPECIES

INTERIOR LANDSCAPE LIST

TREES			
SYMBOL	QUAN.	PROPOSED MATERIAL	DESCRIPTION
	1	Senna surattensis GLAUCOUS CASSIA	10' HT. X 4' SPR. 2" DBH. F.G.
	1	Calophyllum brasiliense BRAZILIAN BEAUTYLEAF	10' HT. X 4' SPR. 2" DBH. F.G.
	1	*Conocarpus erectus 'sericeus' SILVER BUTTONWOOD	10' HT. X 4' SPR., 2" DBH. F.G.
SHRUBS AND GROUNDCOVERS			
SYMBOL	QUAN.	PROPOSED MATERIAL	DESCRIPTION
CES	17	*Conocarpus erectus 'sericeus' SILVER BUTTONWOOD	24" HT. X 24" SPR. / 24" O.C. 3 GAL.
CV	13	Codiaeum variegatum 'Stoplight' CROTON	18" HT. X 18" SPR. / 18" O.C. 3 GAL.
FM	53	Ficus microcarpa 'Green Island' GREEN ISLAND FICUS	15" HT. X 15" SPR. / 15" O.C. 3 GAL.
IT	20	Ixora taiwanese 'Dwarf' DWARF IXORA	18" HT. X 18" SPR. / 18" O.C. 3 GAL.
LAWN	As Required	Stenotaphrum secundatum 'Floritam' ST. AUGUSTINE GRASS	SOLID EVEN SOD

* DENOTES NATIVE SPECIES



INTERIOR LANDSCAPE PLAN

Scale: 1"=10'-0"

INTERIOR LANDSCAPE LEGEND CHAPTER 18A			
ZONE DISTRICT: SINGLE FAMILY HOMES			
Gross Land: 5,000 sq. ft. Net Land: 5,000 sq. ft. Water Bodies: 0			
Landscape Open Space (if applicable)	REQ.	PROV.	
Greenbelt Width (if applicable)	N/A	N/A	
Lawn Area (As defined in Ordinance)	35%	35%	
TREES: Trees per Lot: 3 Palms = 2 to 1	3	3	
Note: 30% of required trees and/or palms shall be native species. Street Trees: 50 / 35 = 1.4 35' oc	2	1	
TOTAL NUMBER OF TREES	5	5	
SHRUBS: (10 shrubs for each tree req.)	50	50	
30% shrubs/hedge shall be native species.	15	17	

Irrigation system required pursuant to Chapter 18A of Miami-Dade Code

LARGE TREE PLANTING DETAIL

BIO-BARRIER DETAIL

TYPICAL TREE GUYING DETAIL

STRAIGHT TRUNK PALM PLANTING DETAIL

CURVED TRUNK PALM PLANTING DETAIL

TYPICAL SHRUB PLANTING DETAIL

TYPICAL CONTAINER SPACING DETAIL

TYPICAL GROUNDCOVER PLANTING DETAIL

PLANTING NOTES:

-All plant material is to be Florida Number 1 or better pursuant to the Florida Department of Agriculture's Grades and Standards for Nursery Plants.

-All plants are to be top dressed with a minimum 3" layer of Melaleuca mulch, Eucalyptus mulch or equal.

-Planting plans shall take precedence over plant list in case of discrepancies.

-No changes are to be made without the prior consent of the Landscape Architect and Owner. Additions and or deletions to the plant material must be approved by the project engineer.

-Landscape Contractor is responsible for providing their own square footage takeoffs and field verification for 100% sod coverage for all areas specified.

- All landscape areas are to be provided with automatic sprinkler system which provide 100% coverage, and 50% overlap.

- All trees in lawn areas are to receive a 24" diameter mulched saucer at the base of the trunk.

- Trees are to be planted within parking islands after soil is brought up to grade. Deeply set root balls are not acceptable.

- Planting soil for topsoil and backfill shall be 50/50 mix, nematode free. Planting soil for annual beds to be comprised of 50% Canadian peat moss, 25% salt free coarse sand and 25% Aerolite.

- Tree and shrub pits will be supplemented with "Agriform Pells", 21 gram size with a 20-10-5 analysis, or substitute application accepted by Landscape Architect. Deliver in manufacturer's standard containers showing weight, analysis and name of manufacturer.

SOD NOTES:

- Sod is to be grade "A" weed free.

-All areas marked "LAWN" shall be solid sodded with St. Augustine 'Floratam' solid sod. See limit on plan. All areas marked 'Bahia Grass' shall be solid sodded with Paspalum.

-Provide a 2" deep blanket of planting soil as described in planting notes this sheet. Prior to planting, remove stones, sticks, etc. from the sub soil surface. Excavate existing non-conforming soil as required so that the finish grade of sod is flush with adjacent pavement or top of curb as well as adjacent sod in the case of sod patching.

-Place sod on moistened soil, with edges tightly butted, in staggered rows at right angles to slopes.

-Keep edge of sod bed a minimum of 18" away from groundcover beds and 24" away from edge of shrub beds and 36" away from trees, measured from center of plant.

-Sod Shall be watered immediatley after installation to uniformly wet the soil to at least 2" below the bottom of the sod strips.

-Excavate and remove excess soil so top of sod is flush with top of curb or adjacent pavement or adjacent existing sod.

GENERAL NOTES:

-The Landscape Contractor is to locate and verify all underground and overhead utilities prior to beginning work. Contact proper utility companies and / or General Contractor prior to digging for field verification. The Owner and the Landscape Architect shall not be responsible for any damages to utility or irrigation lines (see Roadway Plans for more utility notes).

-Landscape Contractor is to verify all current drawings and check for discrepancies and bring to the attention of the Landscape Architect prior to commencing with the work.

-All unattended and unplanted tree pits are to be properly barricaded and flagged during installation.

-All planting plans are issued as directives for site layout. Any deviations, site changes, etcetera are to be brought to the attention of the Landscape Architect for clarification prior to installation.

[illegible]

Seal:



Lic. # LA0000889
Member: A.S.L.A.

DEC 10 2019

Drawing: Landscape Details
Date: 12/19/2016
Scale: NTS
Drawn by: TGW
Sheet No.:



Department of Regulatory and Economic Resources

Impact Fee Assessment

Process Number: M2020005231-0

Batch:

Collection Number:

Folio: 3220160051530

Site Address: 15810 NW 87 CT

CP*: N

Assessment Date: 12/30/2019

Fee Payer:

Disclaimer Note: *ROAD/FIRE/POL/PKS impact fees
will increase on 10/1/2019*

Online Payment available at:

CP*: Exempt from Public Records 119.071 Florida Statutes <https://www8.miamidade.gov/apps/rer/ImpactFeesPayments/default.aspx>

Y: Exempt

N: No Exempt

Blank: No info

Payment can be made by Credit Card, Cash, Check or Cashiers's Check

Payable to Miami Dade County

Fee Type	Dist Id	Category Code	Cat Suffix	Category Description	Units	Fee	Extended Amount	Deferred Amount
AREA								\$0.00
	3.0	5002	00	UNIT SIZE (SQ FT)	3,021	\$0.9180	\$2,773.28	
FIRE								\$0.00
	2.0	2007	00	RESIDENTIAL	1	\$440.4021	\$440.40	
PKIM								\$0.00
	1.5	4201	00	SFR DETACHED-IMPR-1	1	\$1,963.2135	\$1,963.21	
PKOS								\$0.00
	1.5	4101	00	SFR DETACHED-OPEN-1	1	\$2,129.7299	\$2,129.73	
POLC								\$0.00
	1.0	3001	00	RESIDENTIAL	1	\$574.6915	\$574.69	
ROAD								\$0.00
	3.0	210	00	SINGLE-FAMILY DETACHED	1	\$9,769.6280	\$9,769.63	
SCHL								\$0.00
	3.0	5001	00	RESIDENTIAL UNIT	1	\$612.0000	\$612.00	

Assessment Total Amount: \$18,262.94

Deferral Amount: \$0.00

Current Balance Due: \$18,262.94

Miami Dade County Department of Regulatory And Economic Resources - Job Copy

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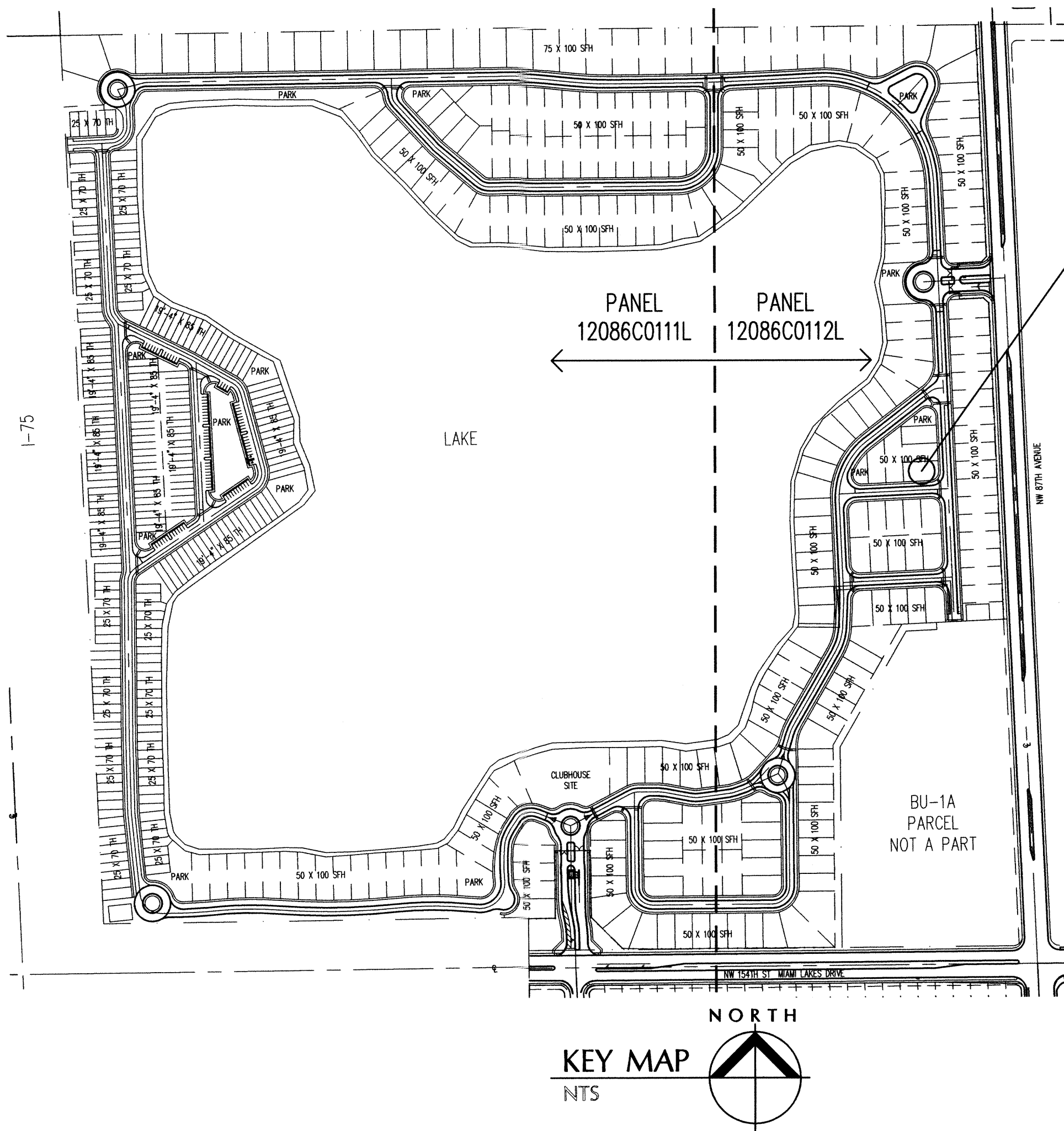
M2020005231-Impact_Fee_Assessment.pdf

Examiner Date Time Stamp Dep Trade Stamp Name

James Gattorno 12/30/2019 10:10:36 AM A PWIF Impact fee assessed

MDC Permit Applications.pdf

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The design and detail drawings for this building and / or overall project are the legal property of and all rights are reserved by the Architect. Their use for reproduction, construction or distribution is prohibited unless authorized in writing by Architect.
SP-1.PDF
Examiner
Gisela Izquierdo
Date Time Stamp
1/14/2020 3:38:01 PM
ALL CONDITIONS SHALL GOVERN
CROWN OF THE ROAD ELEVATION IS BASED ON PAVING AND DRAINAGE PLANS PREPARED BY: SRS ENGINEERING, INC.
LOT LINE DIMENSIONS, BEARINGS AND LOT AREA INFORMATION PROVIDED BY: SRS ENGINEERING, INC.
Miami Dade County Department of Records & Information Management
3220005231 - 1/14/2020 4:47:37 PM



ZONING LEGEND
SINGLE FAMILY 4 TOWNHOMES

ZONING: **R-1-B**

Net Land Area: **5,000 S.F.**

Lot Coverage (everything under roof): **31.85%**

SETBACKS:

	REQUIRED	PROVIDED
Front	5' FOR 50% OF WIDTH REMAINING AT 25' MINIMUM 20' AT GARAGE, RES B-134 (v.xvi)	20'-0"
Interior Side	5'-0"	6'-0"
Side Street	5'-0"	14'-6"
Rear	5' FOR 50% OF WIDTH REMAINING AT 25' MINIMUM, RES B-134 (v.xvi)	25'-0"

Area adjacent to lake or canal to be graded so as to prevent direct overland discharge of stormwater into lake or canal. Lot will be graded so as to prevent direct overland discharge of stormwater onto adjacent property. Applicant will provide certification prior to final inspection.

ANY APPLICABLE RESOLUTIONS:

NOTICE:

In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the Public Records of this County, Section 953.79(10), Florida Statutes, effective 7/10/87.

A separate permit will be required for all driveway approaches onto public right-of-way. Contact Public Works Department.

The height of the fences, wall and hedges shall not exceed 2.5 feet in height within 10 feet of the edge of any driveway leading to any right-of-way.

The height of fences is being measured from grade. Grade = Elevation of public sidewalk or crown of road.

NOTE:

This Plot Plan has been prepared for the specific purpose of showing setbacks and utilities access in order to obtain a building permit.

The exact location of the building within the lot lines shall be measured from a layout drawing prepared by a certified surveyor.

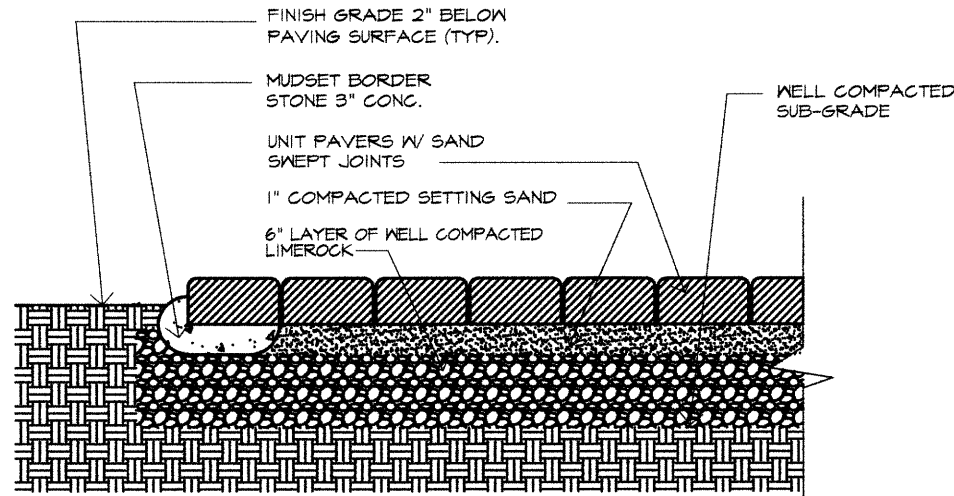
LEGAL DESCRIPTION

LEGAL DESCRIPTION: LOT 3 BLOCK 6 SUBDIVISION: DUNNWOODY LAKE

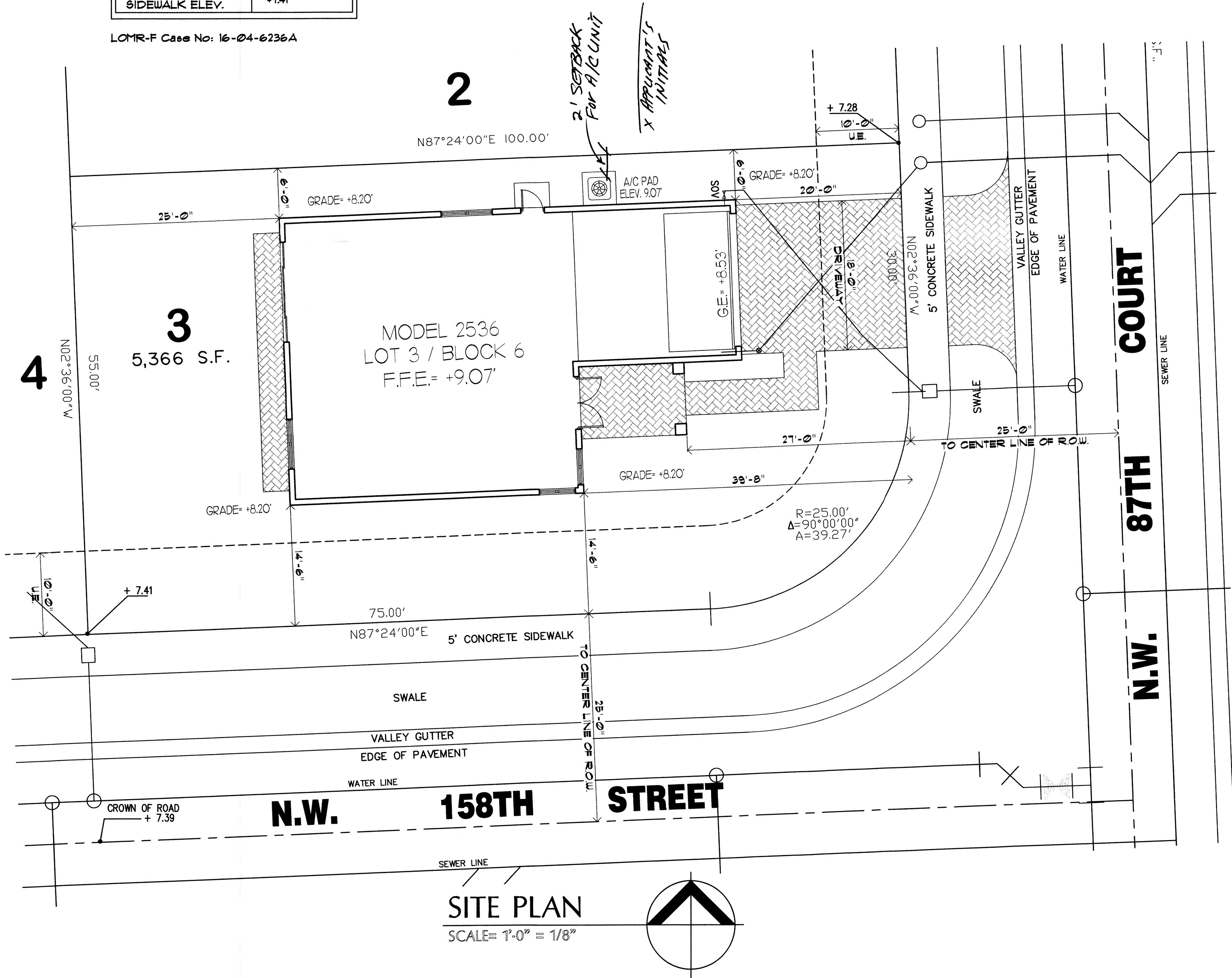
P.B. _____ P.S. _____ DEVELOPMENT NAME: DUNNWOODY

LOCATED AT (Address): _____

FLOOD INFORMATION	
FLOOD ZONE:	"X"
PANEL NUMBER :	112 of 1031
MAP NUMBER :	12086C0112L
DATE :	SEPT. 11, 2009
BASE FLOOD ELEV.:	+6.00
PROPOSED FF. ELEV.:	+9.01
PROP. A/C PAD ELEV.	+9.01
PROPOSED GARAGE ELEV.:	+8.53
HIGHEST ELEV. OF ROAD	+7.39
HIGHEST BACK OF SIDEWALK ELEV.	+7.41



PAVERS
NOT TO SCALE



PASCUAL
PEREZ
KILIDDJIAN
& ASSOCIATES
ARCHITECTS - PLANNERS
LICENSE # AA 26001357

EDGARDO PEREZ , AIA
LICENSE No. : AR 0015394
MARIO P. PASCUAL , AIA
LICENSE No. : AR 0008254
PETER KILIDDJIAN, RA
LICENSE No. : AR 0093067

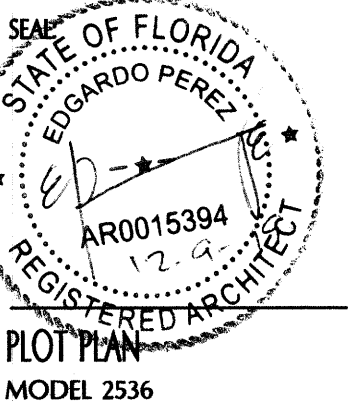
AT THE BEACON CENTER
1300 NW 84th AVENUE
DORAL, FLORIDA 33126
TELEPHONE : (305) 592-1363
FACSIMILE : (305) 592-6865
http://www.ppkarch.com

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The architectural design and detail drawings of the building shown on this project are the legal property of and all rights are reserved by the Architect. Their use for reproduction, construction or distribution is prohibited unless authorized in writing by the Architect.

REVISIONS:

OWNER:
LENNAR HOMES
730 NW 107th AVENUE
MIAMI, FLORIDA 33172

DUNNWOODY
BY
LENNAR HOMES
CITY OF HIALEAH, FLORIDA



PLOT PLAN
MODEL 2536

LOT 3 - BLOCK 6
DATE : 12.6.19
SCALE : AS SHOWN
DRAWN : CR
CHECK BY:
JOB NO. : 15-42

SP-1

SHEET NO. :

Lennar/Dana Woody Lakes SFR 50s

Lot	Blk	Address	Model	Permit #	Process #
117849	03	06	15810 NW 87 CT	2536	C

3220005231

BLR2019-5232
15810 NW 87 Ct.

JOB COPY

TOWN OF MIAMI LAKES				
THIS COPY OF PLANS MUST BE AVAILABLE ON BUILDING SITE OR NO INSPECTION WILL BE GIVEN				
SECTION	APPROVED		REAPPROVED	
	BY	DATE	BY	DATE
1. ZONING				
2. LANSKAPING				
3. BUILDING WORKS				
4. BUILDING				
5. UTILITIES				
6. LANDSCAP				
7. NATURAL				
8. SPECIAL				
9. MECHANICAL				
10. FLOOD				
Flood		AMK et al		



Address: 15810 NW 87 CT
Folio #: 32-2016-005-1530
MDC Process #: <u>12020005231</u>
MDC Tracking #: <u>3220005231</u>
Job Description: SFR MODEL 2536 (BLR2019-0623) 3,021SF

Master Permit #: BLR2019-5232

Sub Permit #: _____

Revision #: _____

OFFICE USE ONLY

ZONING	☒ Approved	Date	Disapproved	BUILDING	☒ Approved	Date	Disapproved	STRUCT.	☒ Approved	Date	Disapproved
	Date				Date				Date		
	Initials				Initials				Initials		
ROOFING	☐ Approved	Date	Disapproved	ELECT.	☐ Approved	Date	Disapproved	MECH.	☐ Approved	Date	Disapproved
	Date				Date				Date		
	Initials				Initials				Initials		
PLUMBING	☒ Approved	Date	Disapproved	FLOOD	☐ Approved	Date	Disapproved		☐ Approved	Date	Disapproved
	Date				Date				Date		
	Initials				Initials				Initials		

PLANS CHECKED-OUT

DATE	NAME

PLANS CHECKED-IN

DATE	NAME

	AMOUNTS
BASE PERMIT	
ZONING FEE	
CODE COMPLIANCE FEE	
TECHNOLOGY FEE	
DBPR SURCH. STATE	
DBPR SURCH. BUILDING	
SCANNING FEE	
WORK W/O PERMIT FEE	
UPFRONT FEE PAID	
BALANCE DUE:	

Miami Dade County Department of Regulatory and Economic Resources - Job Copy

3220005231 - 1/14/2020 4:47:37 PM

TCMOL Permit Application.pdf

Issuing Clerk: _____

Date: ____/____/____

A ZONING INSPECTION IS REQUIRED



6601 Main St • Miami Lakes, Florida, 33014
Office: (305) 827-4015 • Fax: (305) 558-9884
Website: www.miamilakes-fl.gov

BUILDING PERMIT APPLICATION

Job Address: 15810 NW 87 CT

Unit #:

Folio #: 32- 2016-005 1530

Owner-Builder: ☒

Master Permit #: _____

Sub Permit #: _____

Revision #: _____

OWNER INFORMATION	LEGAL USE/WORK
NAME: Lennar Homes	Current Use of Property: Vacant
Address: 730 NW 107th Avenue 3rd Floor	Job Description: SFR MODEL 2536 MASTER BLR20190623
City, State, Zip Miami, FL 33172	LOT 3 BLK 6
Phone #: 786-348-3251 Cell #: 786-326-8380	JOB COST \$ 245,456.00 AREA/LENGTH: 3021 SF/LF
Email Address: lydiacabrera@catpermitprocessing.com	Residential ☒ Multi-Family ☐ Commercial ☐ Industrial ☐
Company Name: Lennar Homes	Code in Effect: _____
Qualifier Name: Phil Serrate	Occupancy: _____
License # CGC062343	Construction Type: _____
Address 730 NW 107th Avenue 3rd Floor	Flood Zone/B.F.E.: _____ F.F.E.: _____
City, State, Zip Miami, FL 33172	Firm Name: ESA Architects
Phone #: 305-970-1692 Cell #: 786-348-3251	A/E of record: Ed Silva
Email Address: lydiacabrera@catpermitprocessing.com	License # 0011131
	Address 8900 SW 117 Ave, #B107
	City, State, Zip Miami, FL 33186
	Phone #: 305-275-8383 Cell #: 786-348-3251
	Email Address: anaros@bellsouth.net

CONTRACTOR INFORMATION	ARCHITECT/ENGINEER
Permit Type -- Check only One	Change to Permit -- Check only One
☒ Building ☐ Electrical ☐ Mechanical ☐ Plumbing/Gas	☐ Extension ☐ Renewal ☐ Revision
☐ Paving/Drainage ☐ Sign ☐ Roofing ☐ PW	☐ Change Contractor ☐ Shop Drawing ☐ Cancellation

Application is hereby made to obtain a permit to do work and installation as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards, of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for ELECTRICAL WORK, MECHANICAL, PLUMBING, SIGNS, WELLS, POOLS, RE-ROOFING, SHUTTERS, WINDOWS, FURNACES, BOILERS, HEATERS, TANKS, and AIR CONDITIONERS, etc. I understand that in signing this application I am responsible for the supervision and completion of the construction including scheduling of inspections and obtaining final inspections in accordance with the plans and specification WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR ATTORNEY OR LENDER BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. OWNER/CONTRACTOR AFFIDAVIT: I Certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning.

X

Signature of Owner or Owner's Agent

Date 3/7/19

Phil Serrate

Print Name of Owner or Owner's Agent

X

Signature of Qualifier

Date 3/7/19

Phil Serrate

Print Name of Qualifier

STATE OF Florida COUNTY OF Dade

Sworn to and subscribed before me this 7th of March 20 19

by Phil Serrate

Personally known ☒ or I.D. ☐

MARIA LEVY
MY COMMISSION # FF 988551
EXPIRES: September 3, 2020
Bonded Thru Notary Public Underwriters

STATE OF Florida COUNTY OF Dade

Sworn to and subscribed before me this 7th of March 20 19

by Phil Serrate

Personally known ☒ or I.D. ☐

MARIA LEVY
MY COMMISSION # FF 988551
EXPIRES: September 3, 2020
Bonded Thru Notary Public Underwriters

NOTICE: In addition to the requirements

that may be applicable to this property that may be found in the public records of this county, and there may be additional permits required from other governmental entities such as water management districts, state agencies, or federal agencies.

NOTE: This application will be void if there are no reviews after six(6) months.