

MIAMI-DADE COUNTY
DEPARTMENT OF REGULATORY AND ECONOMIC RESOURCES
<http://www.miamidade.gov/building/home.asp>
8/26/2019 12:07:03 PM

Tracking #	Process #	Permit #
3219017537	M2019017537	2019076410

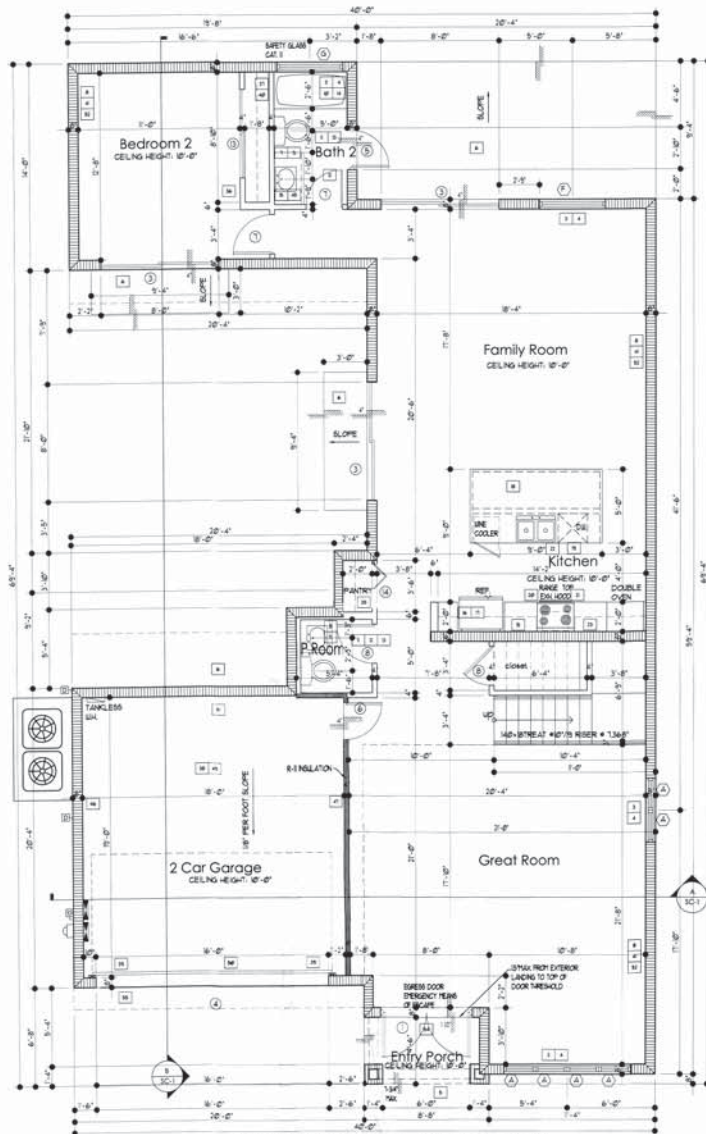
THIS COPY OF PLANS MUST BE AVAILABLE ON BUILDING SITE OR AN INSPECTION WILL NOT BE MADE.				
Process #	Review	Disposition	Reviewer	Date
M2019017537	DERM CORE	A	TORRECH, RAMON	7/23/2019
M2019017537	UPFRONT FEES	A	WEB APPLICATION ID	7/22/2019
M2019017537	WASA	A	RODRIGUEZ, ARMANDO	8/9/2019
M2019017537	IMPACT FEES	A	INTERNET IMPACT FEES (IFS)	8/14/2019

Disclaimer.

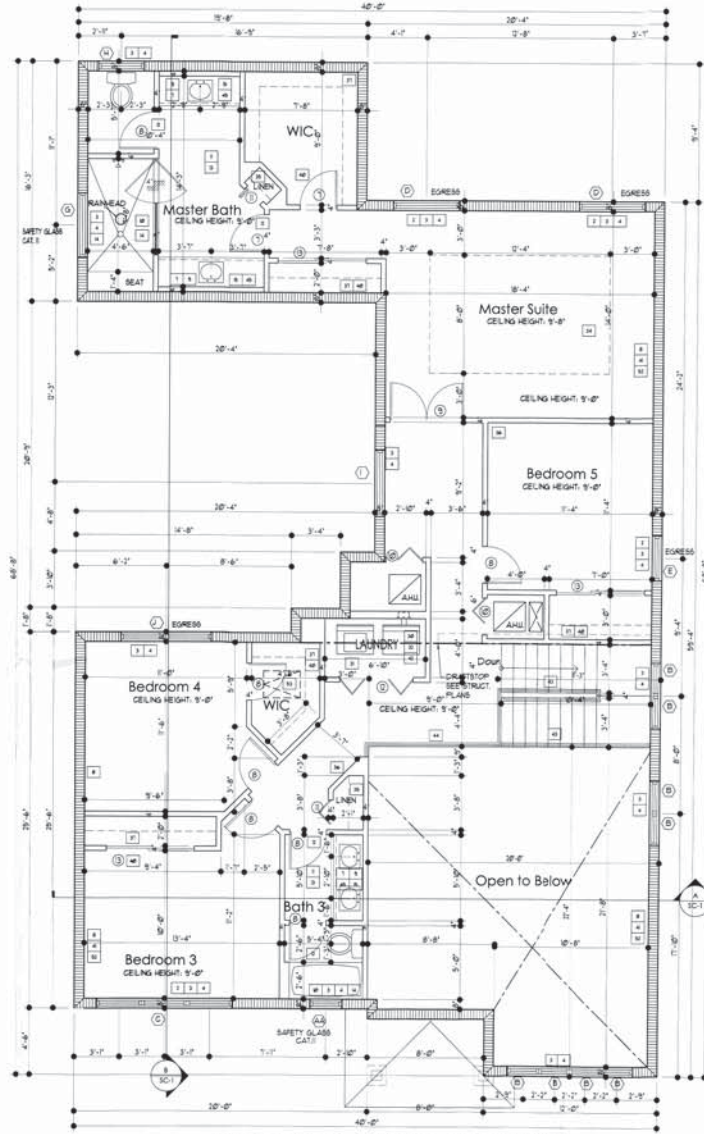
Subject to compliance with all Federal, State, and County Laws, rules and regulations. Miami-Dade County assumes no responsibility for accuracy of or results of these plans.

NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to the property that may be found in the public records of this county, and there may be additional permits required from other governmental entities such as water management districts, state agencies or federal agencies.

Stamp Name	Trade	Disposition	Stamp Description
Impact fee assessed	PWIF	A	Impact fee assessed by Miami-Dade County



FIRST FLOOR PLAN - MODEL 3053



SECOND FLOOR PLAN - MODEL 3053

SQUARE FOOTAGE CALCS

FIRST FLOOR LIVING AREA	1478 SQFT
SECOND FLOOR LIVING AREA	1374 SQFT
TOTAL LIVING AREA	3052 SQFT
GARAGE	378 SQFT
ENTRY PORCH	56 SQFT
TOTAL BUILDING AREA	3478 SQFT



Client: LENNAR HOMES
Address: 730 NW 107TH AVENUE, 3RD FLOOR
Address: MIAMI, FLORIDA 33172
Phone: 305-559-1951
Plan: DUNNWOODY LAKES- MODEL 3053
FLOOR PLAN

Job No.:
Drawn By:
Scale: 1/8" = 1'-0"
Date: 02-02-18
Lot:
Block:

EDWARD SILVA, ARCHITECT
REG. NO. 0011131
8800 SW 117 AVE #B107, MIAMI, FLORIDA 33186
(305) 275-8383 / FAX: (305) 275-8381

E.S.A.

A-1
of



Department of Regulatory and Economic Resources

Impact Fee Assessment

Process Number: M2019017537-0

Batch:

Collection Number:

Folio: 3220160050560

Site Address: 8842 NW 161 ST

Fee Payer:

Assessment Date: 07/22/2019

Disclaimer Note: *ROAD/FIRE/POL/PKS impact fees
will increase on 10/1/2019*

Online Payment available at:

<https://www8.miamidade.gov/apps/rer/ImpactFeesPayments/default.aspx>

Payment can be made by Credit Card, Cash, Check or Cashiers's Check

Payable to Miami Dade County

Fee Type	Dist Id	Category Code	Cat Suffix	Category Description	Units	Fee	Extended Amount	Deferred Amount
AREA								\$0.00
	3.0	5002	00	UNIT SIZE (SQ FT)	3,478	\$0.9180	\$3,192.80	
FIRE								\$0.00
	2.0	2007	00	RESIDENTIAL	1	\$432.6150	\$432.62	
PKIM								\$0.00
	1.5	4201	00	SFR DETACHED-IMPR-1	1	\$1,928.5005	\$1,928.50	
PKOS								\$0.00
	1.5	4101	00	SFR DETACHED-OPEN-1	1	\$2,092.0726	\$2,092.07	
POLC								\$0.00
	1.0	3001	00	RESIDENTIAL	1	\$564.5299	\$564.53	
ROAD								\$0.00
	3.0	210	00	SINGLE-FAMILY DETACHED	1	\$9,463.5770	\$9,463.58	
SCHL								\$0.00
	3.0	5001	00	RESIDENTIAL UNIT	1	\$612.0000	\$612.00	

Assessment Total Amount: \$18,286.10

Deferral Amount: \$0.00

Current Balance Due: \$18,286.10

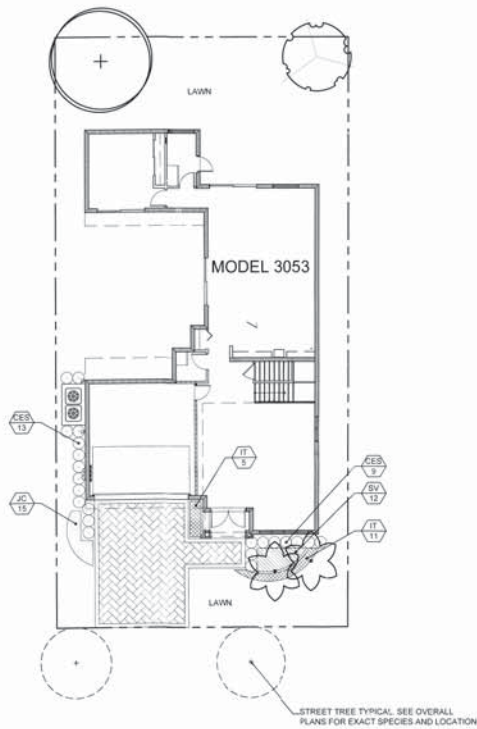
Miami Dade County Department of Regulatory And Economic Resources - Job Copy

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IPS_M2019017537.pdf

Examiner Date Time Stamp Dept Trade Stamp Name:

Melina Idroguza 7/22/2019 2:35:10 PM A PWIF Impact fee assessed



LANDSCAPE PLAN

Scale: 1"=10'-0"

LANDSCAPE LEGEND CHAPTER 18A

ZONE DISTRICT: SINGLE FAMILY HOMES

Gross Land: 5,000 sq. ft. Net Land: 5,000 sq. ft. Water Bodies: 0

	REQ.	PROV.
Landscape Open Space (if applicable)	N/A	N/A
Greenbelt Width (if applicable)	N/A	N/A
Lawn Area (As defined in Ordinance)	35%	35%
TREES:		
Trees per Lot: 3	3	3
Palms = 2 to 1		
Note: 30% of required trees and/or palms shall be native species.		
Street Trees: 50 / 35 = 1.4	2	2
35' oc		
TOTAL NUMBER OF TREES	5	5
SHRUBS: (10 shrubs for each tree req.)	50	50
30% shrubs/hedge shall be native species.	15	22

Irrigation system required pursuant to Chapter 18A of Miami-Dade Code

LANDSCAPE LIST

TREES			
SYMBOL	QUAN.	PROPOSED MATERIAL	DESCRIPTION
	1	*Swietenia mahagoni MAHOGANY	10' HT. X 4" SPR. 2" DBH. F.G.
	1	*Clusia rosea PITCH APPLE	10' HT. X 4" SPR. 2" DBH. F.G.
	2	Veitchia montgomeryana 'single' SINGLE MONTGOMERY PALM	16' O.A. HT. F.G.
SHRUBS AND GROUNDCOVERS			
SYMBOL	QUAN.	PROPOSED MATERIAL	DESCRIPTION
CES	22	*Conocarpus erectus 'sericeus' SILVER BUTTONWOOD	24" HT. X 24" SPR. / 24" O.C. 3 GAL.
IT	16	Ixora taiwanese 'Dwarf' DWARF IXORA	18" HT. X 18" SPR. / 18" O.C. 3 GAL.
JC	15	Juniperus chinensis 'Parsonii' PARSON'S JUNIPER	15" HT. X 15" SPR. / 15" O.C. 3 GAL.
SV	12	Schefflera arboricola 'Trinette' VARIEGATED SCHEFFLERA	18" HT. X 18" SPR. / 18" O.C. 3 GAL.
LAWN	As Required	Stenotaphrum secundatum 'Floratum' ST. AUGUSTINE GRASS	SOLID EVEN SOD

* DENOTES NATIVE SPECIES

Revised:	By:	Date:

Seal:

L.O. # 120000889
Member: A.S.L.A.

Drawing: Model 3053 Landscape Plan
Date: 04/08/2018
Scale: See Left
Drawn by: TGVW
Sheet No:

L-1

Cad Id: 2015-107

Lydia.cabrera@catpermitprocessing.com

NOTE: ALL SHEET MUST BE REVIEWED

MIAMI-DADE COUNTY DEPARTMENT OF REGULATORY AND ECONOMIC RESOURCES

Herbert S. Saffir Permitting and Inspection Center

11805 SW 26th Street (Coral Way) • Miami, Florida 33175-2474 • (786) 315-2000

APPLICATION FOR MUNICIPAL PERMIT APPLICANTS

THAT REQUIRE PLAN REVIEW FROM MIAMI-DADE FIRE RESCUE
AND/OR ENVIRONMENTAL SERVICES

m2019017537 3219017537 BLR 2019-2979

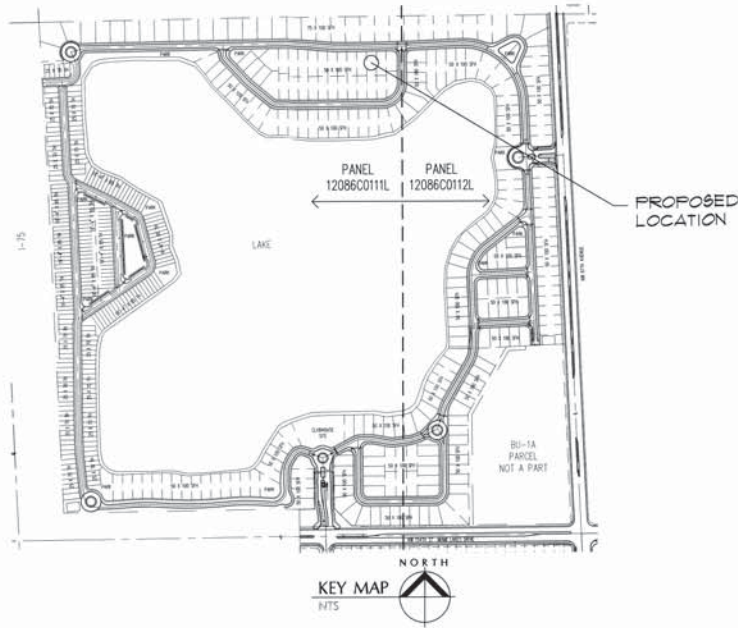
PROVIDE MUNICIPAL PROCESS NUMBER HERE			
LOCATION OF IMPROVEMENTS	Job Address <u>8842 NW 161 ST</u>		CONTRACTOR INFORMATION
	Folio <u>32-2016 005 0560</u>		
TYPE OF IMPROVEMENTS	Lot <u>11</u> Block <u>2</u>		OWNER'S NAME
	Subdivision <u>Dunn Woody Lakes</u> PBpg		
PERMIT TYPE	Metes and bounds _____		ARCHITECT / ENGINEER
	[☒] New Construction on Vacant Land		
FIRE SPECIAL REQUEST PLAN REVIEW (SRI)	[☐] Alteration Interior		OWNER'S NAME
	[☐] Alteration Exterior		
PERSON TO PICK UP PLANS	[☐] Relocation of Structure		ARCHITECT / ENGINEER
	[☐] Enclosure		
FIRE SPECIAL REQUEST PLAN REVIEW (SRI)	[☐] Repair		OWNER'S NAME
	[☐] Repair Due to Fire		
PERSON TO PICK UP PLANS	[☐] Demolish		ARCHITECT / ENGINEER
	[☐] Shell Only		
FIRE SPECIAL REQUEST PLAN REVIEW (SRI)	[☐] Addition Attached		OWNER'S NAME
	[☐] Addition Detached		
PERSON TO PICK UP PLANS	[☐] Re-Roof		ARCHITECT / ENGINEER
	[☐] Foundation Only		
FIRE SPECIAL REQUEST PLAN REVIEW (SRI)	[☐] Tent		OWNER'S NAME
	[☐] Chg. Contractor		
PERSON TO PICK UP PLANS	[☐] Re-Issue		ARCHITECT / ENGINEER
	[☐] Re-Stamp		
FIRE SPECIAL REQUEST PLAN REVIEW (SRI)	[☐] Revision		OWNER'S NAME
	[☐] Not Applicable for Fire		
PERSON TO PICK UP PLANS	Name <u>CAT PERMIT PROCESSING INC.</u>		ARCHITECT / ENGINEER
	Address <u>18973 SW 33RD COURT</u>		
FIRE SPECIAL REQUEST PLAN REVIEW (SRI)	City <u>MIRAMAR</u> State <u>FL</u> Zip <u>33029</u>		ARCHITECT / ENGINEER
	Phone <u>786-348-3251</u>		
PERSON TO PICK UP PLANS	Owner <u>LENNAR HOMES</u>		ARCHITECT / ENGINEER
	Address <u>730 NW 107TH AVE</u>		
FIRE SPECIAL REQUEST PLAN REVIEW (SRI)	City <u>MIAMI</u> State <u>FL</u> Zip _____		ARCHITECT / ENGINEER
	Phone <u>786-348-3251</u>		
PERSON TO PICK UP PLANS	Last four (4) digits of Owner's Social Security No. _____		ARCHITECT / ENGINEER
	Current use of property <u>VACANT</u>		
FIRE SPECIAL REQUEST PLAN REVIEW (SRI)	Description of Work <u>New SFR</u>		ARCHITECT / ENGINEER
	Sq. Ft. <u>3478</u> Units _____ Floors _____		
PERSON TO PICK UP PLANS	Value of Work <u>282,587.00</u>		ARCHITECT / ENGINEER
	I am requesting a Special Request Plan Review (SRI) to be scheduled as soon as possible at the rate of \$190 for the first hour and \$65 per each additional hour in addition to the review fees. Minimum charge one-hour.		
FIRE SPECIAL REQUEST PLAN REVIEW (SRI)	1 st Request: _____ Date: _____		ARCHITECT / ENGINEER
	2 nd Request: _____ Date: _____		
PERSON TO PICK UP PLANS	3 rd Request: _____ Date: _____		ARCHITECT / ENGINEER
	I am requesting Optional Plan Review (OPR) to be scheduled as soon as possible at the rate of \$75 for each discipline. Additional review fees may apply.		
FIRE SPECIAL REQUEST PLAN REVIEW (SRI)	1 st Request: _____ Date: _____		ARCHITECT / ENGINEER
	2 nd Request: _____ Date: _____		
PERSON TO PICK UP PLANS	3 rd Request: _____ Date: _____		ARCHITECT / ENGINEER
	I am requesting Optional Plan Review (OPR) to be scheduled as soon as possible at the rate of \$75 for each discipline. Additional review fees may apply.		

Miami Dade County Department of Regulatory and Economic Resources - Job Copy

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MDC Permit Application.pdf

© 2007 PASCUAL PEREZ, KILIDDJIAN & ASSOCIATES, ARCHITECTS - PLANNERS
 The design and detail drawings for this building and all other projects are the legal property of the Architect. Their use for reproduction, construction or distribution is prohibited unless authorized in writing by the Architect.

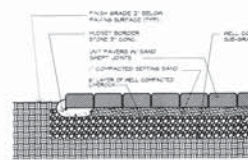


LEGAL DESCRIPTION			
LEGAL DESCRIPTION: LOT 1, BLOCK 2, SUBDIVISION: DUNNWOODY LAKE	PS	PS	DEVELOPMENT NAME: DUNNWOODY
LOCATED AT (ADDRESS):			

ZONING LEGEND	
SINGLE FAMILY - TOWNHOUSES	
ZONING: RPT-3	
Net Land Area: 6,051 S.F.	
Lot Coverage (everything under roof): 33.04%	
BETTERBACKS:	REQUIRED
Front: 5' FOR MAX OF WIDTH REMAINING AT 20' MINUT 10' AT GARAGE, RES B-304 (1x1)	5'-0" / 5'-0"
Interior Side: 5'-0"	5'-0"
Side Street: 10'-0"	N/A
Rear: 5' FOR MAX OF WIDTH REMAINING AT 20' MINUT 10' AT GARAGE, RES B-304 (1x1)	36'-0" / 44'-0"
Area adjacent to lake or canal to be graded at 1% to prevent direct overland drainage of stormwater into lake or canal.	
Lot will be graded so as to prevent direct overland drainage of overland drainage of stormwater onto adjacent property. Applicant will provide certification prior to final inspection.	
ANY APPLICABLE RESOLUTIONS:	
NOTES:	
In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the Public Records of this County, Section 333.75 (b) Florida Statutes, effective 7/1/07.	
A separate permit will be required for all driveway approaches onto public right-of-way. Contact Public Works Department.	
The height of the fences, wall and hedges shall not exceed 23 feet in height, with 10 feet of the edge of any driveway leading to any right-of-way.	
The height of fences is being measured from grade. Grade = Elevation of public sidewalk or crown of road.	

FLOOD INFORMATION	
FLOOD ZONE:	1X1
PANEL NUMBER:	III of 1031
MAP NUMBER:	12086C011L
DATE:	SEPT. 11, 2009
BASE FLOOD ELEV.:	+6.00'
PROPOSED FF. ELEV.:	+8.95'
PROP. AC PAD ELEV.:	+8.95'
PROPOSED GARAGE ELEV.:	+8.41'
HIGHEST ELEV. OF ROAD:	+12.8'
HIGHEST BACK OF SIDEWALK ELEV.:	+13.2'

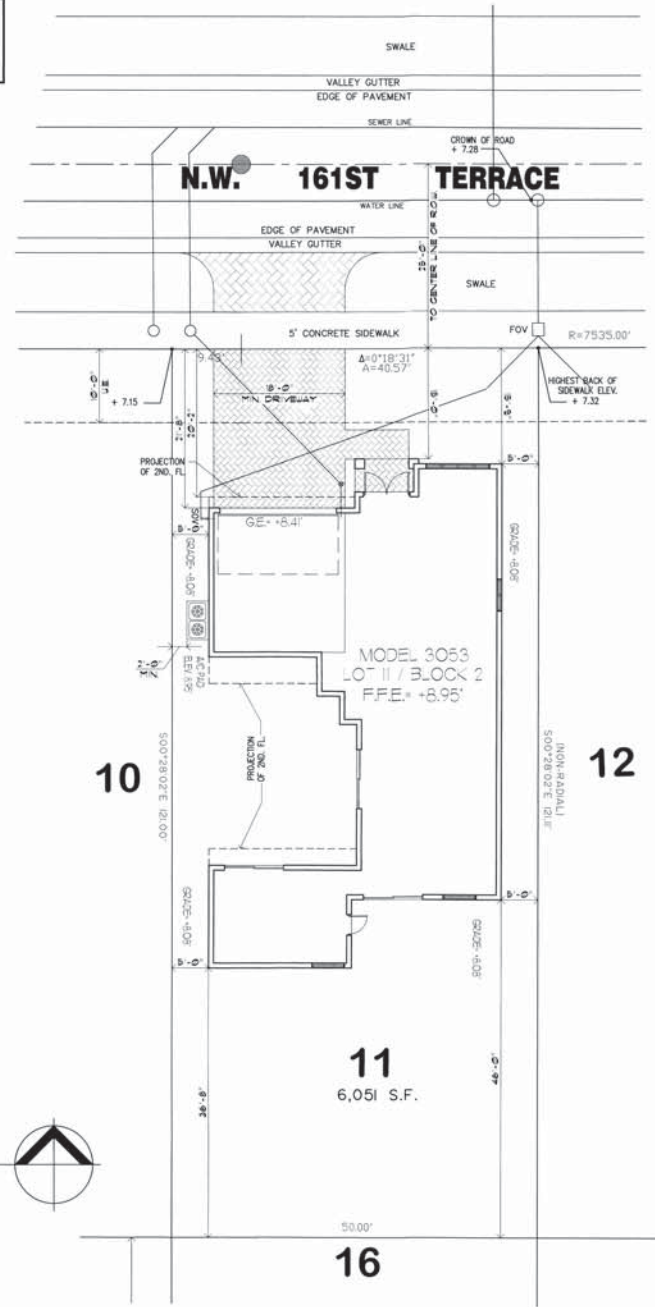
LCMR-F Case No: 16-04-6236-A



PAVERS
 NOT TO SCALE

SITE PLAN

SCALE= 1"= 1/8"



PASCUAL PEREZ KILIDDJIAN & ASSOCIATES
 ARCHITECTS - PLANNERS
 LICENSE # AA 26001357
 EDUARDO PEREZ, AIA
 LICENSE No.: AR 0015394
 MARCO P. PASCUAL, AIA
 LICENSE No.: AR 0008254
 PETER KILIDDJIAN, RIA
 LICENSE No.: AR 0005067
 AT THE BEACON CENTER
 1300 NW 84th AVENUE
 DORAL, FLORIDA 33126
 TELEPHONE: (305) 592-5963
 FACSIMILE: (305) 592-6865
<http://www.ppkarch.com>

REVISIONS

OWNER:
 LUNAR HOMES
 790 NW 10TH AVENUE
 MIAMI, FLORIDA 33137

DUNNWOODY
 BY
LENNAR HOMES
 CITY OF HIALEAH, FLORIDA



LOT 11 - BLOCK 2
 DATE: 10/10/09
 SCALE: AS SHOWN
 DRAWN: CR
 CHECK BY:
 JOB NO.: 15-42

SP-1

SHEET NO.:

Miami Dade County Department of Public Works and Transportation
 3219017537 - 8/26/2019 12:07 PM
 SP-1.PDR

Lennar/DunnWoody Lakes SFR 50s

Lot	Blk	Address	Model	Permit #	Process #
113603	11	02 8842 NW 161 752	3053	BLD-2019-2974	CM20A017537

JOB COPY

BL2019-2979

8842 NW 161 ST

Hand Model 012019-0120

TOWN OF MIAMI LAKES

THIS COPY OF PLANS MUST BE AVAILABLE ON BUILDING CITY OF MIAMI INSPECTIVE TEAM AT ANY TIME

DESCRIPTION	APPROVED		COMPLETED	
	BY	DATE	BY	DATE
ENGINE				
SEWER				
WATER MAINS				
PUBLIC WORKS				
BUILDING				
MECHANICAL				
ELECTRICAL				
PLUMBING				
MECHANICAL				
ENERGY				
TRAIL				

Signature of Engineer/Architect/Inspector

Signature of Inspector

Signature of Inspector



Address: 8872 NW 161 ST
Folio #: 32-20160050560
MDC Process #: M2019017537
MDC Tracking #: 3219017537
Job Description: TYPICAL SFR MODEL 3053

Master Permit #: BLR2019-2979

Sub Permit #: _____

Revision #: _____

OFFICE USE ONLY

☐ ZONING	☐ Approved	Date	Disapproved	☐ BUILDING	☐ Approved	Date	Disapproved	☐ STRUCT.	☐ Approved	Date	Disapproved
	Date				Date				Date		
	Initials				Initials				Initials		
☐ ROOFING	☐ Approved	Date	Disapproved	☐ ELECT.	☐ Approved	Date	Disapproved	☐ MECH.	☐ Approved	Date	Disapproved
	Date				Date				Date		
	Initials				Initials				Initials		
☐ PLUMBING	☐ Approved	Date	Disapproved	☐ FLOOD	☐ Approved	Date	Disapproved	☐	☐ Approved	Date	Disapproved
	Date				Date				Date		
	Initials				Initials				Initials		

PLANS CHECKED-OUT

DATE	NAME

PLANS CHECKED-IN

DATE	NAME

	AMOUNTS
BASE PERMIT	
ZONING FEE	
CODE COMPLIANCE FEE	
TECHNOLOGY FEE	
DBPR SURCH. STATE	
DBPR SURCH. BUILDING	
SCANNING FEE	
WORK W/O PERMIT FEE	
UPFRONT FEE PAID	250.00
BALANCE DUE:	

~~Miami Dade County Department of Regulatory and Economic Resources - Job Copy~~

3219017537 - 8/26/2019 12:07:03 PM

~~TOMOL Permit Application.pdf~~

Issuing Clerk: _____ Date: ____/____/____



6601 Main St • Miami Lakes, Florida, 33014
Office: (305) 827-4015 • Fax: (305) 558-9884
Website: www.miamilakes-fl.gov

BUILDING PERMIT APPLICATION

Job Address: 8842 NW 161 TER

Unit #:

Folio #: 32- 2016-005- 0560 Owner-Builder: ☒

Master Permit #: BLR2019-2979 Sub Permit #: _____ Revision #: _____

OWNER INFORMATION	NAME: Lennar Homes	LEGAL USE/ WORK	Current Use of Property: <u>Vacant</u>
	Address: 730 NW 107th Avenue 3rd Floor		Job Description: <u>SFR Model 3053</u>
	City, State, Zip Miami, FL 33172		<u>Master BLR20190628</u>
	Phone #: 786-326-8380 Cell #: 786-348-3251		<u>LOT 11 BLK 02</u>
	Email Address: lydiacabrer@catpermitprocessing.com		JOB COST \$ <u>\$282,587.00</u> AREA/LENGTH: <u>3478</u> SF/LF
CONTRACTOR INFORMATION	Company Name: Lennar Homes	ARCHITECT/ ENGINEER	Residential ☒ Multi-Family ☐ Commercial ☐ Industrial ☐
	Qualifier Name: Phil Serrate		Code in Effect: _____
	License # CGC062343		Occupancy: _____
	Address 730 NW 107th Avenue 3rd Floor		Construction Type: _____
	City, State, Zip Miami, FL 33172		Flood Zone/B.F.E.: _____ F.F.E.: _____
	Phone #: 305-970-1692 Cell #: 786-348-3251		Firm Name: <u>ESA Architects</u>
	Email Address: lydiacabrer@catpermitprocessing.com		A/E of record: <u>Ed Silva</u>
Permit Type -- Check only One		Change to Permit -- Check only One	
☒ Building ☐ Electrical ☐ Mechanical ☐ Plumbing/Gas		☐ Extension ☐ Renewal ☐ Revision	
☐ Paving/Drainage ☐ Sign ☐ Roofing ☐ PW		☐ Change Contractor ☐ Shop Drawing ☐ Cancellation	

Application is hereby made to obtain a permit to do work and installation as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards, of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for ELECTRICAL WORK, MECHANICAL, PLUMBING, SIGNS, WELLS, POOLS, RE-ROOFING, SHUTTERS, WINDOWS, FURNACES, BOILERS, HEATERS, TANKS, and AIR CONDITIONERS, etc. I understand that in signing this application I am responsible for the supervision and completion of the construction including scheduling of inspections and obtaining final inspections in accordance with the plans and specification WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR ATTORNEY OR LENDER BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. OWNER/CONTRACTOR AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning.

X
Signature of Owner or Owner's Agent Phil Serrate Date 3/2/19
Print Name of Owner or Owner's Agent

X
Signature of Qualifier Phil Serrate Date 3/2/19
Print Name of Qualifier

STATE OF Florida COUNTY OF Dade
Sworn to and subscribed before me this 2nd of March, 2019
by Phil Serrate
Personally known ☒ or I.D. _____
Notary Public State of Florida

STATE OF Florida COUNTY OF Dade
Sworn to and subscribed before me this 2nd of March, 2019
by Phil Serrate
Personally known ☒ or I.D. _____
Notary Public State of Florida

NOTICE: In addition to the requirements of this permit, there may be additional deed restrictions enforced by the homeowner's associations that may be applicable to this property that may be found in the public records of this county, and there may be additional permits required from other governmental entities such as water management districts, state agencies, or federal agencies.

NOTE: This application will be void if there are no reviews after six(6) months.