

**MIAMI-DADE COUNTY**

**DEPARTMENT OF REGULATORY AND ECONOMIC RESOURCES**

<http://www.miamidade.gov/building/home.asp>

4/25/2019 6:52:08 PM

<b>Tracking #</b>	<b>Process #</b>	<b>Permit #</b>
3219011364	M2019011364	2019039324

**THIS COPY OF PLANS MUST BE AVAILABLE ON BUILDING SITE OR AN INSPECTION WILL NOT BE MADE.**

<b>Review</b>	<b>Disposition</b>	<b>Reviewer</b>	<b>Date</b>
DERM	A	Ana Lezcano	4/23/2019 10:21:44 AM
FIRE	A	Lilia Rodriguez	4/22/2019 1:00:22 PM
WASA	N	Carlos Esquivel	4/22/2019 3:47:48 PM

**Disclaimer.**

Subject to compliance with all Federal, State, and County Laws, rules and regulations. Miami-Dade County assumes no responsibility for accuracy of or results of these plans.

**NOTICE:** In addition to the requirements of this permit, there may be additional restrictions applicable to the property that may be found in the public records of this county, and there may be additional permits required from other governmental entities such as water management districts, state agencies or federal agencies.

<b>Stamp Name</b>	<b>Trade</b>	<b>Disposition</b>	<b>Stamp Description</b>
Approved	FIRE	A	Approved
Disapproved	DERM	D	Disapproved
Reference Only	FIRE	R	Reference only.
Approved	DERM	A	Approved



EXISTING SITE PLAN PROVIDED BY AMERANT BANK AND DBSI INCORPORATED.

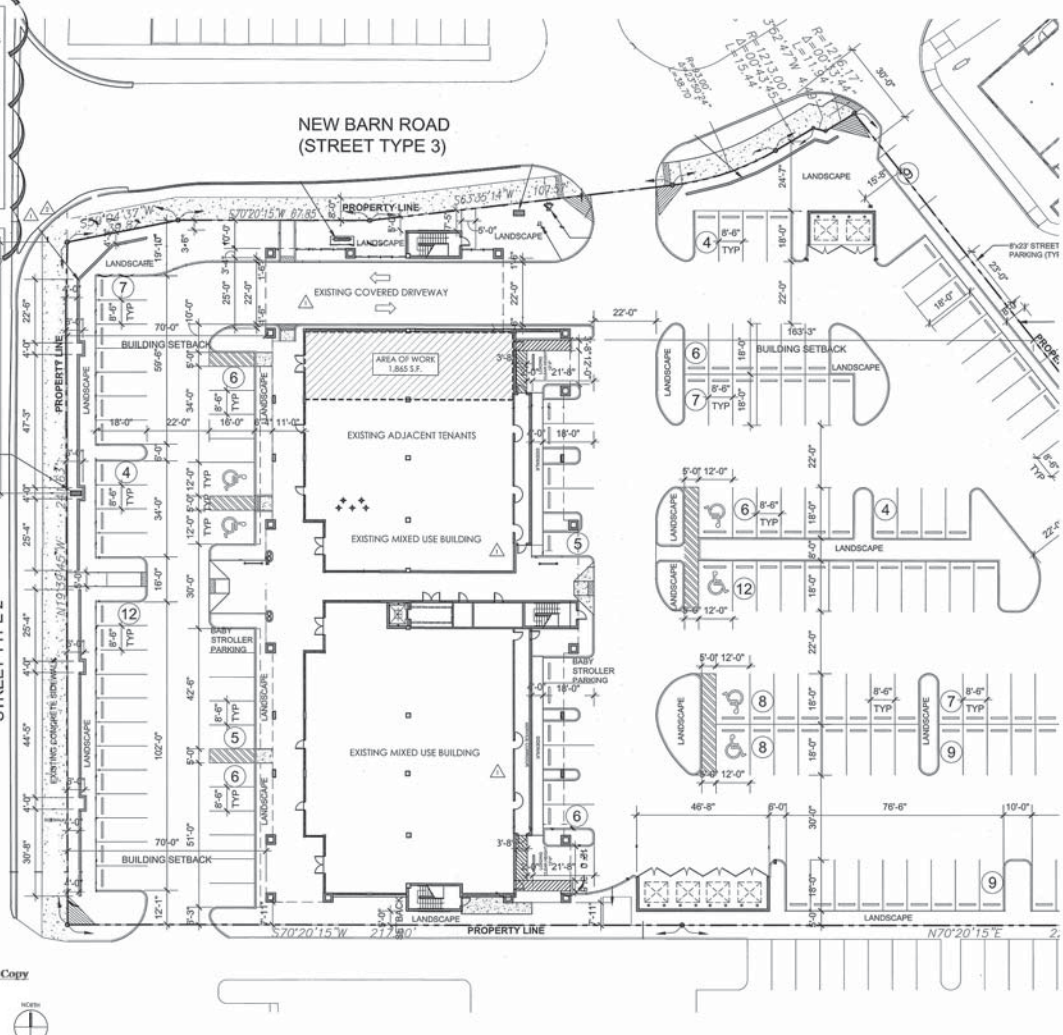
ALL BUILDINGS AND SITE WORK SHOWN ON THIS PLAN ARE EXISTING TO REMAIN. EXISTING SITE RAMPS, WALKWAYS, SIGNS AND ELEVATIONS ARE EXISTING TO REMAIN (NO CHANGE). THESE SIGNS WERE PROVIDED AS PART OF EXISTING DEVELOPMENT PACKAGE AND APPROVED UNDER EXISTING DEIRN PROCESS NUMBER M2017010851, EXISTING COUNTY PERMIT NUMBER 201706682, AND EXISTING TOWN PERMIT NUMBER BLC2017-2368.

EXISTING SITE PLAN IS ACCESSIBLE, AND EXISTING EXTERIOR LANDINGS HAVE 2% MAXIMUM SLOPE, PER EXISTING TOWN PERMIT NUMBER BLC2017-2368.

PER FRC ACCESSIBILITY 2014 SECTION 206 AND SECTION 208, ACCESSIBLE ROUTES AND ACCESSIBLE PARKING SPACES WERE PROVIDED FOR EXISTING TOWN PERMIT NUMBER BLC2017-2368.

THIS TENANT IMPROVEMENT PROJECT AREA OF WORK IS HATCHED WITHIN THE PLAN-NORTH EXISTING BUILDING SHELL.

THERE IS NO SITE WORK IN THIS T.I. SCOPE OF WORK, UNDER PERMIT NO. BLC2018-4718 AND PERMIT NO. 2019-03924 AND PROCESS NO. M201905311



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**AMERANT**  
1990 N.W. 67TH AVENUE MIAMI LAKES, FL 33014  
**MIAMI LAKES**

2912.036.00

Issue date: 11/26/18  
Drawn by: B. BRICKSON  
Checked by: N. NEBELUNG  
**revisions**  
▲ PLAN REVIEW RESPONSE 02/26/19  
▲ PLAN REVIEW RESPONSE 04/01/19

APR 01 2019  
**PLAN REVIEW RESPONSE**

EXISTING SITE PLAN  
**A100**

Miami Dade County Department of Permitting And Economic Resources - Job Copy  
3219011364 - 4/23/2019 6:52:08 PM  
A100-04122019.PTR  
Examiner: Date Time Stamp: Designer: Trade Stamp Number:  
Lilia Rodriguez: 4/23/2019 12:45:54 PM

**PROJECT DATA**

PROJECT NUMBER: 080  
 470 WEST ACRES PLACE  
 CHANDLER, AZ 85004

PROJECT ADDRESS: 470 WEST ACRES PLACE  
 MIAMI LAKES, FL 33054

BUILDING CODES: FLORIDA BUILDING CODE (4th EDITION 2017) - BUILDING  
 FLORIDA BUILDING CODE (4th EDITION 2017) - MECHANICAL  
 FLORIDA BUILDING CODE (4th EDITION 2017) - PLUMBING  
 2014 NATIONAL ELECTRICAL CODE  
 FLORIDA FIRE PREVENTION CODE (4th EDITION 2017)  
 FLORIDA BUILDING CODE (4th EDITION 2017) - ENERGY  
 CODE OF THE TOWN OF MIAMI LAKES, FLORIDA

TYPE OF CONSTRUCTION: S.A. FULLY SPRINKLED  
 BUILDING HEIGHT: 40'-4" EXISTING (2 STORES)

MECHANICAL DESIGN CATEGORY: A

TOTAL AREA (SPRINKLED BUILDING): 1,863 SF.  
 TOTAL SCOPE OF WORK AREA: 1,863 SF.  
 OCCUPANCY TYPE: "O" OCCUPANCY (SEE TABLE 101)  
 IDEAL "O" OCCUPANCY

**ALLOWABLE AREA**  
 PER FBC 100.10.105 AND TABLE 101.1 PER FBC 101.0  
 EXISTING BUILDING FOOTPRINT TO REMAIN

**OCCUPANT LOAD AND REQUIRED EXITS**  
 PER CHAPTER 10 FBC 100.105 AND TABLE 101.1 PER FBC 101.0  
 MAXIMUM PERMITTED OCCUPANT LOAD PER ROOM

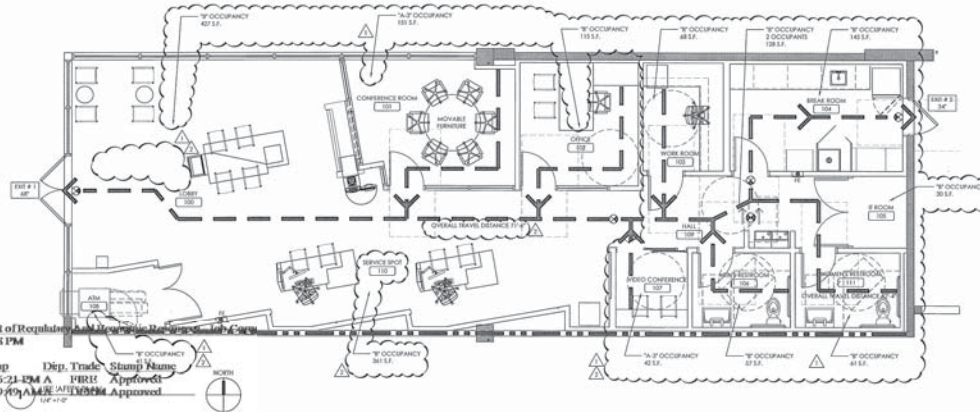
ROOM	OCCUPANCY	BRANCH	AREA (SQ. FT.)	EXIT	MAX. WIDTH (INCHES)	MIN. WIDTH (INCHES)
OFFICE	10	10	1,200	1	36	36
CONFERENCE ROOM	10	10	1,200	1	36	36
RECEPTION	10	10	1,200	1	36	36
RESTROOM	10	10	1,200	1	36	36
STORAGE	10	10	1,200	1	36	36
TOTAL						

**PLUMBING FIXTURES**  
 PER FLORIDA BUILDING CODE (4th EDITION 2017) - PLUMBING TABLE 401.1  
 PER SECTION 401.1, WHERE PLUMBING FIXTURES ARE REQUIRED, BREAK ROOM FACILITIES SHALL BE PROVIDED  
 PER TABLE 401.1

ROOM	LOAD	SINK	WATER CLOSURE	WATER CLOSURE	WATER CLOSURE	WATER CLOSURE	WATER CLOSURE
OFFICE	1.2	1.2	1.2	1.2	1.2	1.2	1.2
CONFERENCE ROOM	1.2	1.2	1.2	1.2	1.2	1.2	1.2
RECEPTION	1.2	1.2	1.2	1.2	1.2	1.2	1.2
RESTROOM	1.2	1.2	1.2	1.2	1.2	1.2	1.2
STORAGE	1.2	1.2	1.2	1.2	1.2	1.2	1.2
TOTAL							

**FIRE RESISTIVE REQUIREMENTS**  
 PER FLORIDA BUILDING CODE (4th EDITION 2017) - BUILDING TABLE 601  
 BUILDING ELEMENT PER TYPE

OCCUPANCY	BRANCH	REQUIRED	PROVIDED
"O"	STRUCTURAL FRAME	0	0
"O"	BEARING WALL - EXTERIOR	0	0
"O"	BEARING WALL - INTERIOR	0	0
"O"	FLOOR CONSTRUCTION	0	0
"O"	ROOF CONSTRUCTION	0	0



**LIFE SAFETY LEGEND**

- TWO HOUR RATED PARTITION
- DOOR
- DOOR WITH GLASS
- INTERNALLY ILLUMINATED EGRESS SIGN - SEE ELECTRICAL
- FIRE EXTINGUISHER PER 2017 FBC TABLE 901.3.1 & TABLE 901.3.2, MOUNT TO THE TOP PORTION OF ROOM, NOT 4" A.F.F. OR LOWER THAN 17' A.F.F.

Miami Dade County Department of Regulatory and Economic Resources  
 3219011364 - 4/23/2019 6:52:08 PM  
 A101-04122019.1P30  
 Examine Date Time Stamp Dep. Trade Stamp Name  
 Lilia Rodriguez 4/23/2019 12:46:24 AM A PERM Approved  
 Ana Lozano 4/23/2019 10:19:49 AM A PERM Approved

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**AMERANT**  
 470 WEST ACRES PLACE, MIAMI LAKES, FL 33054

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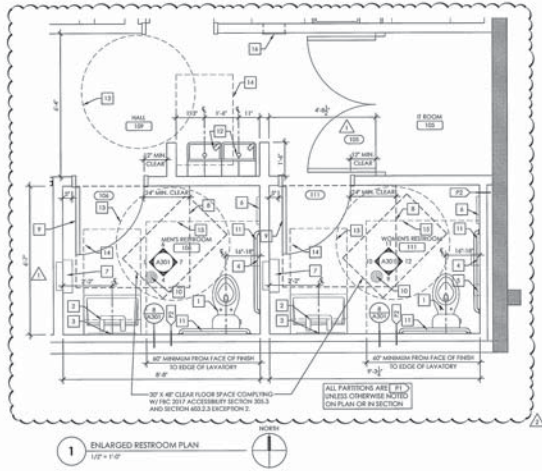
Issue date: 11/26/18  
 Drawn By: B. ENICKSON  
 Checked By: R. REIBLING  
**revisions**  
 PLAN REVIEW RESPONSE 02/26/19  
 PLAN REVIEW RESPONSE 04/01/19

APR 01 2019  
**PLAN REVIEW RESPONSE**

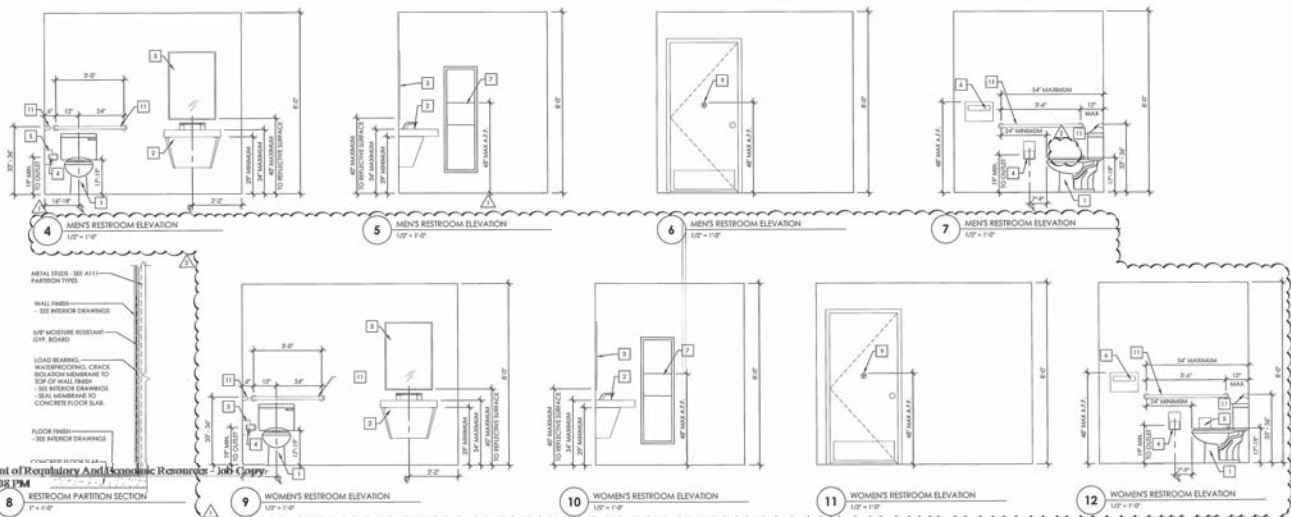
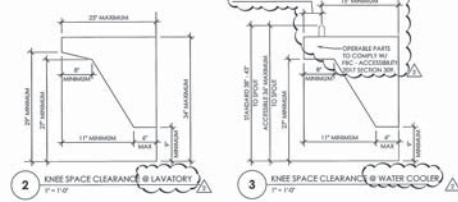
**LIFE SAFETY PLAN**  
**A101**







- ### RESTROOM FIXTURE KEYED NOTES
- FLOOR MOUNTED WATER CLOSET - SEE PLUMBING DRAWINGS FOR FURTHER INFORMATION.
  - LAVATORY WITH INTEGRAL SOAP DISPENSER & HAND DRYER & UNDER LAVATORY PPE GUARD - SEE PLUMBING DRAWINGS FOR FURTHER INFORMATION - SEE 314.01.
  - 3/4" x 3/4" SINK - SEE ELECTRICAL.
  - WALL MOUNTED TOILET PAPER.
  - SANITARY WIPER DISPOSAL.
  - SANITARY SEAT COVER DISPENSER.
  - 304-UNFINISHED STAINLESS STEEL PAPER TOWEL DISPENSER AND WASH RECEPTACLE.
  - 3/4" x 67" LATCH APPROACH FULL SIZE DOOR PROVIDED WITH CLEAR CLEAR AREA ADA COMPLIANT.
  - FLOOR DRAIN - SEE PLUMBING.
  - ACCESSIBLE COMMUNAL GRAB BARS PROVIDE WITH SPACERS AS REQUIRED TO LEVEL GRAB BAR VERTICAL AT FACE OF THE AND WALL.
  - 1/4" x 1/4" ELECTRICAL WATER COOLER - SEE 314.01.
  - 48" TURN KADEL.
  - 30" x 48" CLEAR AREA.
  - 30" x 48" CLEAR AREA.
  - 30" x 48" CLEAR AREA.
- NOTE: GENERAL CONTRACTOR TO PROVIDE PROTECTIVE BULLETS AS REQUIRED FOR ATTACHMENT OF FIXTURES / EQUIPMENT - COORDINATE FINAL LOCATIONS WITH MANUFACTURERS.
- NOTE: GENERAL CONTRACTOR TO SEAL AROUND ALL ACCESSORIES TO PROTECT STRUCTURAL ELEMENTS FROM MOISTURE PER IBC 2012 SECTION 1203.2.1.



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1000 WEST BROWARD AVENUE MIAMI LAKES, FL 33014  
**MIAMI LAKES**

2912.036.00

Issue date: 11/26/18  
Drawn by: B. BRICKSON  
Checked by: N. NEBLUNG  
**revisions**

PLAN REVIEW RESPONSE 02/06/19  
PLAN REVIEW RESPONSE 04/01/19

APR 01, 2019  
**PLAN REVIEW RESPONSE**

ENLARGED RESTROOM PLAN  
DETAILS & ELEVATIONS

**A301**

ROOM NAME	DOOR NUMBER	DOOR TYPE	DOOR SIZE	MATERIAL	FINISH	FRAME TYPE	FRAME FINISH	HWDR GROUP	REMARKS
LOBBY	100	EXIST	(2) 3'-0" x 7'-0"	EXIST	PREFRN	EXIST	PREFRN		1,2,4,8,9,12
CONFERENCE ROOM	101	1	3'-0" x 7'-0"	ALUM/G/L	PREFRN	E	PREFRN	2	5,11
OFFICE	102	1	3'-0" x 7'-0"	ALUM/G/L	PREFRN	F	PREFRN	2	5,11
WORK ROOM	103	2	3'-0" x 7'-0"	SC	PT	A	PT	3	3,5,7,9
BREAK ROOM	104	2	3'-0" x 7'-0"	SC	PT	A	PT	3	3,5,7,9,13
BREAK ROOM	104.1	EXIST	3'-0" x 7'-0"	EXIST	PT	EXIST	PT	3	3,5,7,9,13
E ROOM	105	2	(2) 3'-0" x 7'-0"	SC	PT	A	PT	4	3,5,7,9,13
VIDEO CONFERENCE	106	2	3'-0" x 7'-0"	SC	PT	A	PT	3	3,5,7,9
VIDEO CONFERENCE	107	1	3'-0" x 7'-0"	ALUM/G/L	PREFRN	G	PREFRN	2	5,11
ATM	108	3	3'-0" x 7'-0"	SC	PT	B	PT	3	3,5,7,9
WOMEN'S RESTROOM	111	2	3'-0" x 7'-0"	SC	PT	A	PT	3	3,5,7,9

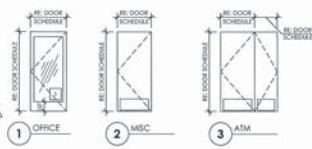
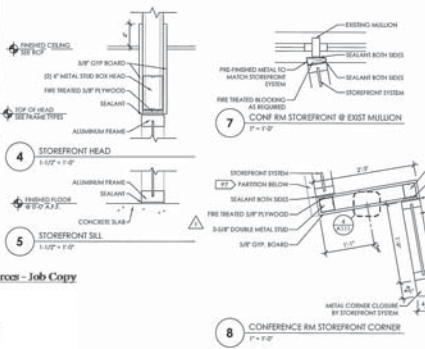
- NOTE:**
- ALL EXTERIOR DOORS NOT TO EXCEED (15) POUNDS PRESSURE, (5) POUNDS PRESSURE AT INTERIOR DOORS & (15) POUNDS PRESSURE FOR FIRE DOORS AS REQUIRED.
  - EXIT DOORS ARE TO BE OPERABLE FROM INSIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OF EFFORT PER SECTION 1008.1.8.3 FBC. PROVIDE SIGN OVER EXIT DOOR NO. 1, THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED.
  - SEE MECHANICAL PLANS TO COORDINATE DOORS REQUIRING UNDERCUT.
  - EXIT DOORS TO OPEN BY LEVER OR OTHER ACCESSIBLE HARDWARE BY ONE OPERATION OF THE HAND TO UNLOCK AND UNLATCH.
  - CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL DOORS, FRAMES AND/OR HARDWARE AS NECESSARY.
  - PER FBC PRE 605.3.1 ALL DOORS INTO ELECTRICAL PANEL ROOMS SHALL BE MARKED WITH A SIGN STATING "ELECTRICAL ROOM".
  - ALL WOOD DOORS TO BE PARTICLE WOOD CORE WITH PAINT GRADE FINISH PER DBSI INTERIOR FINISH PLANS. SEE SPECIFICATION REQUIREMENTS FOR EACH GRADE AS REQUIRED.
  - NOT USED.
  - PROVIDE POWER FOR KEYCARD READER.
  - PROVIDE 5 COPIES OF KEY.
  - SEE GLAZING TYPES ON SHEET A601 AS NOTED.
  - PROVIDE 10 COPIES OF KEY.
  - ADD PEEPHOLE @ 4" AFF.

**HARDWARE SCHEDULE**

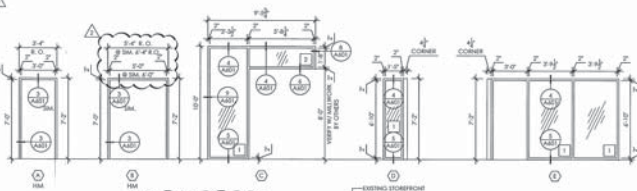
- HW GROUP 1**  
 PIVOT HINGES, SINGLE ACTING - STANDARD WEIGHT BACK AND PINON - HAGAR 300 SERIES  
 SILENCERS  
 MAGNETIC CATCHES - TOP AND BOTTOM  
 WEARER STRIP AT PIVOT JAMB AND HEAD  
 ELECTRIC LEVER LATCH SET (FREE EGRESS)  
 ACTIVE LEAF  
 FLUSH BOLTS AT INACTIVE LEAF  
 ELECTRIC STRIKE AND KEY CARD ACCESS
- HW GROUP 2**  
 3" STAINLESS STEEL LOCKING LADDER PULL MODEL LLP4845 BY CRL  
 OVERHUNG CONCEALED CLOSER WITH 90 DEGREE HOLD OPEN  
 FLUSH FLOOR PIVOT BOT
- HW GROUP 3**  
 NOT USED
- HW GROUP 4**  
 ELECTRIC LEVER LATCH SET (FREE EGRESS)  
 ACTIVE LEAF  
 4 HINGES  
 CLOSER WITH 90 DEGREE LIMITER  
 SILENCERS  
 KEY FOB  
 DOOR/CLOSER PPE 05238 WIDE ANGLE SILVER ANNOUEZED  
 ELECTRIC STRIKE AND KEY CARD ACCESS
- HW GROUP 5**  
 3" STAINLESS STEEL LOCKING LADDER PULL MODEL LLP4845 BY CRL  
 OVERHUNG CONCEALED CLOSER WITH 90 DEGREE HOLD OPEN  
 FLUSH FLOOR PIVOT BOT
- HW GROUP 6**  
 3" STAINLESS STEEL LOCKING LADDER PULL MODEL LLP4845 BY CRL  
 OVERHUNG CONCEALED CLOSER WITH 90 DEGREE HOLD OPEN  
 FLUSH FLOOR PIVOT BOT
- HW GROUP 7**  
 SILENT LEVEL LOCK  
 4 HINGES  
 PASSAGE LATCH  
 4 HINGES  
 CLOSER WITH 90 DEGREE LIMITER  
 SILENCERS  
 ELECTRIC STRIKE AND KEY CARD ACCESS
- HW GROUP 8**  
 ALL HARDWARE BY DOOR SUPPLIER

**ABBREVIATIONS**

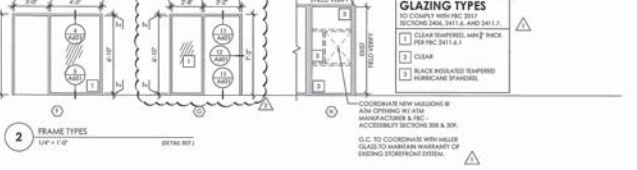
- ALUM ALUMINUM STOREFRONT
- CAN CLEAR ANNOUEZED
- GL GLASS
- GM HOLLOW METAL
- IMP IMPACT RESISTANT
- KN KNOCK DOWN
- MIC METAL COLLING
- OV OVERHEAD DOOR
- PT PAINTED
- PREFR PREFRISHED
- SC SOLID CORE WOOD
- SS STAINLESS STEEL
- VAR VARNISH
- WI WROUGHT IRON
- WV WOOD VENEER



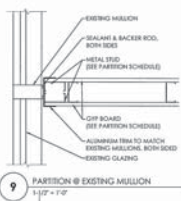
1 DOOR TYPES  
1/2" = 1'-0"



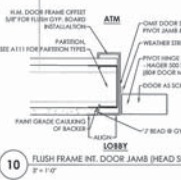
2 FRAME TYPES  
1/2" = 1'-0"



3 GLAZING TYPES  
1/2" = 1'-0"



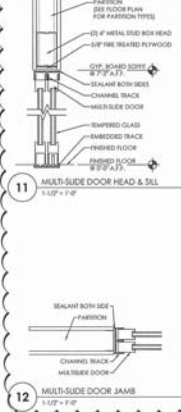
9 PARTITION @ EXISTING MULLION  
1:10 = 1'-0"



10 FLUSH FRAME INT. DOOR JAMB (HEAD SIM.)  
1:10 = 1'-0"



6 STOREFRONT SILL @ MILLWORK  
1:10 = 1'-0"



11 MULTI-SIDE DOOR HEAD & SILL  
1:10 = 1'-0"



12 MULTI-SIDE DOOR JAMB  
1:10 = 1'-0"

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 3219011364 - 4/25/2019 6:52:08 PM  
 A601-04122019.PTR  
 Examiner: Dale Time Stamp: Disp: Trade Stamp Name  
 Lilia Rodriguez: 4/27/2019 12:56:00 PM: PLS: C:\Users\lrodriguez\Documents\A601-04122019.PTR



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APR 01 2019  
**PLAN REVIEW RESPONSE**  
 A601

**Department of Regulatory and Economic Resources  
Miami-Dade County  
Plan Review Summary**

**Process Number: M2019011364**

**FINAL CORE REVIEW DATE: 4/19/2019**

**OVERALL STATUS: Disapproval - Report**

**PROJECT DETAILS:**

**FOLIO: 32-2024-001-0120**  
**ADDRESS: 15151 NW 67 AVE, , FL**  
**PERMIT TYPE DESC.:**

**CONTACT DETAILS:**

**NAME: EVELYN CAPO**  
**EMAIL:**  
**PHONE #: 3056084286**

**DISAPPROVAL CODES:**

TASK	REVIEWED BY	STATUS DATE	STATUS
Initial Core Review	Frank Agras	04/18/2019	Reviewed

Comments: Permit for Interior Remodeling in existing Commercial Building ¿Amerant-Miami Lakes¿. M2019011364  
 Scope of work include: Interior remodeling new Bank. 1,865 SF  
 City of Miami Lakes Process#BLC2018-4718  
 Plans approved for the same scope of work and business area under DERM#M2019005311 and Allocation Letter 2019-ALL-00092.  
 2002-SEW-EXT-00054 Certified/2016-SEW-EXT-00202 Completed.  
 2016-WAT-EXT-00204 Issued.  
 PTXA as Office Building.  
 No increase for DERM. No Allocation Letter is required. No COI.  
 Approved by Asbestos Section.

For 231: Require MDWASD Ordinance Form.

ASBES Review	Sean Tracey	04/18/2019	Approved
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Comments: 04/18/2019 - Remodeling of space within new construction. Plans approved.

Final Core Review	Frank Agras	04/19/2019	Disapproval - Report
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Comments: For 231: Require MDWASD Ordinance Form.

**PLAN CONDITIONS:**

NO.	COMMENTS	DATE APPLIED	ISSUED BY	TYPE
1	003-Certification of sewer ext Certification of sewer ext.	4/18/2019	Frank Agras	Notice
2	004-Certification of water ext Certification of water ext.	4/18/2019	Frank Agras	Notice

**PLAN REVIEW FEES (FEES ARE SUBJECT TO CHANGE PENDING FINAL APPROVAL):**

FILE CODE	DESCRIPTION	USER	DATE	UNIT	TOTAL
3219011364	4/19/2019 6:53:05 PM				
DERM	Comments: M2019011364_04-19-2019.pdf				

**Examiner: Frank Agras**    **Date/Time Stamp: 4/19/2019 10:48:10 AM D**    **Dis. Track Stamp Name: DERM Disapproval**  
**FOR MORE INFORMATION PLEASE CONTACT:**

YOUR DERM CORE REVIEWER: Frank.Agras@miamidade.gov

DERM PERMITTING AND INSPECTION CENTER, 11805 SW 26 ST, 786-315-2800

DERM OVERTOWN TRANSIT CENTER, 701 NW 1 CT, 305-372-6899

Coastal: dermcr@miamidade.gov

EQCB: eqcb@miamidade.gov

Specialty Engineering Reviews (industrial, storage tanks, industrial waste pretreatment, asbestos, paving & drainage, trees): dermengreviews@miamidade.gov

Tree Permit applications: dermtreeprogram@miamidade.gov

Water Control: dermwatercontrol@miamidade.gov

Wetlands: dermwetlands@miamidade.gov

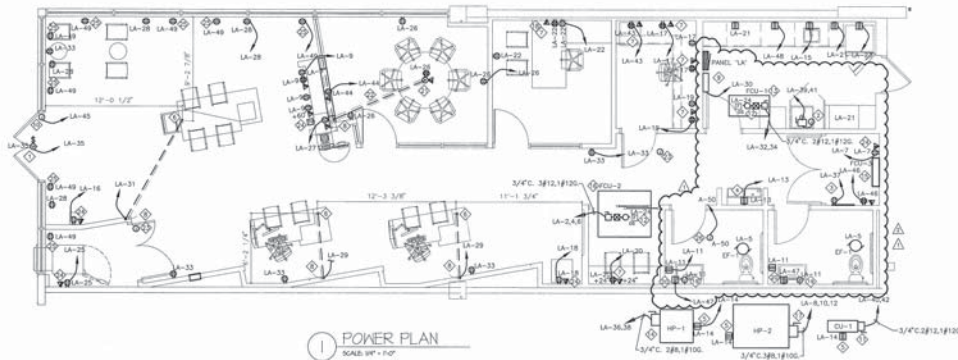
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**DERM\_Comments\_M2019011364\_04-19-2019.pdf**

**Examiner    Date Time Stamp        Dept. Code    Stamp Name**

**Frank Aguz 4/19/2019 10:48:10 AM D        DERM Disapproved**



POWER PLAN  
SCALE: 1/4" = 1'-0"

**COMPLIANCE NOTES:**

1. **FLUORESCENT LIGHTING - ENERGY EFFICIENT REQUIREMENTS (ENR14.4.1)**  
CONTRACTOR SHALL PROVIDE THAT WITHIN 30 DAYS AFTER THE DATE OF SYSTEM ACCEPTANCE, RECORD DRAWINGS OF THE ACTUAL INSTALLATION SHALL BE PROVIDED TO THE BUILDING OWNER, INCLUDING A 1/4" SCALE LINE DRAWING OF THE BUILDING ELECTRICAL DISTRIBUTION SYSTEM. 21 FLOOR PLANS INCLUDING LOCATION AND AREA SERVICED FOR ALL DISTRIBUTION.
2. **FLUORESCENT LIGHTING - ENERGY EFFICIENT REQUIREMENTS (ENR14.4.1)**  
CONTRACTOR SHALL PROVIDE THAT WITHIN 30 DAYS AFTER THE DATE OF SYSTEM ACCEPTANCE, RECORD DRAWINGS OF THE ACTUAL INSTALLATION SHALL BE PROVIDED TO THE BUILDING OWNER, INCLUDING THE MINIMAL SHALL INCLUDE, AS A MINIMUM, THE FOLLOWING:  
31. SUBMITTAL DATA SHEET, EQUIPMENT RATING AND SELECTED OPTIONS FOR EACH TYPE OF EQUIPMENT REQUIRING MAINTENANCE.  
32. OPERATOR MANUAL AND SERVICE MANUALS FOR EACH TYPE OF EQUIPMENT REQUIRING MAINTENANCE. REQUIRED SERVICE MAINTENANCE ACTORS SHALL BE CLEARLY IDENTIFIED.  
33. NAMES AND ADDRESSES OF AT LEAST ONE QUALIFIED SERVICE AGENCY ENGINEER WHOSE SPECIALTY CHECKS TO BE SURE THAT THE CONSTRUCTION DOCUMENTS REQUIRE THE INFORMATION TO BE TRANSMITTED TO THE OWNER AND SHOULD NOT EXCEED COPIES OF ANY OF THE MATERIALS.
3. **SMALL ELECTRICAL SYSTEMS**  
PRIOR TO FINISHING FLOOR, THE GENERAL CONTRACTOR SHALL PROVIDE EVIDENCE THAT THE SYSTEM CONTROL SYSTEM HAS BEEN TESTED TO ENSURE THAT THE CONTROL, INTERLOCK AND SOFTWARE ARE CALIBRATED, MAINTAINED, PROGRAMMED AND IN PROPER WORKING CONDITION IN ACCORDANCE WITH CONSTRUCTION DOCUMENTS AND MANUFACTURER'S INSTRUCTIONS. FUNCTIONAL TESTING SHALL BE IN ACCORDANCE WITH SECTION 0805.1.1 AND 0805.1.2 FOR THE APPLICABLE CONTROL TYPE.

**GENERAL FIRE ALARM NOTE**  
DUNHAM ASSOCIATES IS NOT THE ENGINEER OF RECORD FOR FIRE ALARM. THE ELECTRICAL CONTRACTOR SHALL INCLUDE A PRICE IN THE ELECTRICAL BID FOR A LICENSED APPROVED FIRE ALARM SYSTEM, INCLUDING PLANS AND ALL ASSOCIATED DOCUMENTATION AS REQUIRED PER LOCAL CODE. THESE PLANS SHALL BE SUBMITTED TO THE LOCAL AUTHORITY BY A QUALIFIED AND LICENSED DESIGN-BUILD FIRE ALARM CONTRACTOR FOR A COMPLETE AND APPROVED FIRE ALARM SYSTEM. THE PLANS SHALL BE SIGNED AND SEALED BY THE ENGINEER OF RECORD FOR FIRE ALARM PRIOR TO RECEIVING PERMITS FOR THE BUILDING. THE FIRE ALARM CONTRACTOR SHALL ALSO SUBMIT ALL SHOP DRAWINGS, BATTERY CALCULATIONS, OPERATIONAL SHEETS, ETC. AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION TO THEIR LOCAL DESIGN ENGINEER FOR REVIEW AND APPROVAL. LOCATION AND NUMBER OF DEVICES ARE SUGGESTED ONLY.

**POWER GENERAL NOTES**

- A. ALL ELECTRICAL SERVICE EQUIPMENT SHALL BE LOCATED WITHIN THE DESIGN SPACE.
- B. 3/4" MINIMUM FOR THE SWITCH CIRCUIT. MINIMUM SHALL BE 3/4" MINIMUM WITH MAXIMUM 3-1/2" O/CAMP BRANCH CIRCUITS. EACH CIRCUIT SHALL NOT SHARE NEUTRAL.
- C. LIMITED USE OF MC CABLE TO FUTURE WHITE, EQUIPMENT CONNECTIONS AND EXISTING WALL INSTALLATIONS IS ACCEPTABLE AND SHALL ONLY BE USED FOR EQUIPMENT END CONNECTIONS, SUCH AS LIGHTING FIXTURES.
- D. SEPARATE EQUIPMENT GROUND TO BE PULLED IN EACH CONDUIT.
- E. PROVIDE STEEL COMPRESSION FITTING FOR EMT.
- F. MINIMUM CONDUIT SIZE SHALL BE 1" FOR DATA AND 1" FOR 120V.
- G. NO EXPOSED CONDUIT ALLOWED IF EXISTING WALL DEMOLITION IS REQUIRED. PLEASE ENSURE PROPER PRESTRAPPING AND REPAIR/REINFORCE WALL TO MATCH EXISTING.
- H. ALL EMERGENCY, NIGHT LIGHTS, AND EXIT LIGHTS TO BE PULLED IN ALL SWITCHING.
- I. ALL ELECTRICAL RECEPTACLES AND SWITCHES SHALL BE LOCATED BETWEEN 12" MINIMUM AFF TO THE BOTTOM OF THE BOX AND 48" AFF TO THE TOP OF THE BOX.
- J. THE ELECTRICAL CONTRACTOR SHALL REVIEW AND COORDINATE WITH THE STRUCTURAL, MECHANICAL, PLUMBING AND OTHER DRAWINGS PRIOR TO INSTALLATION OF POWER.
- K. VERIFY EXACT LOCATION OF EQUIPMENT TO BE FURNISHED BY OTHERS PRIOR TO ROUGH-IN.
- L. ELECTRICAL CONTRACTOR SHALL VERIFY ALL EQUIPMENT DIMENSIONS AND LOCATIONS BEFORE BEGINNING ROUGH-IN. CONSULT CONTRACT DOCUMENT DRAWINGS TO VERIFY MINIMUM REQUIRED CLEARANCES.
- M. CONTRACTOR SHALL VERIFY ACTUAL ELECTRICAL LOADS FROM MANUFACTURER'S RATING OF EACH PIECE OF EQUIPMENT REQUIRING POWER. BIDDING ANY DISCREPANCIES TO THE ATTENTION OF THE PROJECT ENGINEER.
- N. FINAL CONNECTIONS TO EQUIPMENT SHALL BE MADE AS PER MANUFACTURER'S WRITTEN INSTRUCTIONS AND APPROVED WIRING DIAGRAMS AND DETAILS. IT SHALL BE IN THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE ALL MATERIALS AND EQUIPMENT COMPATIBLE WITH EQUIPMENT ACTUALLY SUPPLIED.
- O. CONTRACTOR SHALL VERIFY EXISTING ALARM EQUIPMENT REGARDING DROPS FROM CEILING. STRAIN RELIEF SHALL BE USED IN THE CONNECTION TO THE EQUIPMENT. CONTRACTOR SHALL NOT USE EQUIPMENT AS AN ATTACHMENT OR SUPPORT FOR CONDUIT, JUNCTION BOXES, RECEPTACLES OR DISCONNECTS.
- P. E.C. TO VERIFY EQUIPMENT REQUIRING RELATED GROUNDS WITH DRG FIELD REP. AND PROVIDE AS REQUIRED, PRIOR TO BID.

**POWER KEYED NOTES**

1. PROVIDE J-BOX AND DISCONNECT MEANS FOR SINKS PER CODE ABOVE ACCESSIBLE CEILING. PROVIDE A 10'-0" SERVICE LOOP AT EACH J-BOX LOCATION. J-BOX TO BE LOCATED A MAX OF 10'-0" FROM SINK CONNECTION. ROUTE CIRCUITS VIA THE TIME SWITCH. VERIFY EXACT LOCATION IN FIELD WITH DRG FIELD REP.
2. MAKE CONNECTION TO 208V, 3-Ø KW WATER HEATER MOUNT DISCONNECTING MEANS ADJACENT TO WATER HEATER. VERIFY EXACT LOCATION.
3. 4"x4"x1/2" FIRE RESISTANT PLYWOOD TELEPHONE MOUNTING BOARD WITH 2x4 3/4" TO TELEPHONE BOARD WITH TWO CAT 6 CABLES. FOUR PORT MODULAR PHONE PLUG AND JACKS AS REQUIRED BY OWNER.
4. PROVIDE 1" C WITH PULL STRING STUBBED INTO ACCESSIBLE CEILING SPACE FOR DATA AND 3/4" C FOR POWER.
5. ELECTRICAL EQUIPMENT. VERIFY LOCATION IN FIELD. REFER TO PANELBOARD SCHEDULE ON E24.
6. PROVIDE J-BOX WITH 3/4" C STUBBED INTO ACCESSIBLE CEILING SPACE FOR DOOR POWER.
7. CONDENSING UNIT (CU-1) 208V/1PH. BY MECHANICAL CONTRACTOR. ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL ADJACENT TO UNIT A 3Ø, 2 POLE DISCONNECT. MAKE FINAL CONNECTIONS AND CONNECT TO FOU-1 BUNDLE. COORDINATE WITH MECHANICAL CONTRACTOR.
8. PROVIDE A J-BOX FOR POWER CONNECTION TO DUCT SMOKE DETECTOR. DETECTOR TO BE COMPLETE WITH AUXILIARY CONTACTS, BIAS SAMPLING TUBES AND REMOTE STATUS INDICATOR/RESET SWITCH. SIMPLEX OR EQUIV.
9. FOU-1, 208V, 3Ø, 1PH. BY MECHANICAL CONTRACTOR. ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL ADJACENT TO UNIT A 3Ø, 2 POLE, 3Ø, NON-FUSED DISCONNECT SWITCH. STARTER WITH EQUIPMENT. MAKE FINAL CONNECTION. COORDINATE WITH EQUIPMENT SUPPLIER. VERIFY EXACT LOCATION WITH MECHANICAL CONTRACTOR.
10. HP-1, 208V/1PH. BY MECHANICAL CONTRACTOR. ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL ADJACENT TO UNIT A 3Ø, 2 POLE DISCONNECT. MAKE FINAL CONNECTIONS AND CONNECT TO FOU-1 BUNDLE. COORDINATE WITH MECHANICAL CONTRACTOR.
11. FOU-3, 208V, 3Ø, 1PH. BY MECHANICAL CONTRACTOR. ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL ADJACENT TO UNIT A 3Ø, 2 POLE DISCONNECT. MAKE FINAL CONNECTIONS AND CONNECT TO FOU-1 BUNDLE. COORDINATE WITH MECHANICAL CONTRACTOR.
12. FOU-2, 208V, 3Ø, 1PH. BY MECHANICAL CONTRACTOR. ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL ADJACENT TO UNIT A 3Ø, 2 POLE DISCONNECT. MAKE FINAL CONNECTIONS AND CONNECT TO FOU-1 BUNDLE. COORDINATE WITH MECHANICAL CONTRACTOR.
13. FURNISH ON EXTERIOR OFFICE WALL IS 2". PROVIDE SHALLOW DEVICE BOXES AS REQUIRED FOR THIS WALL.
14. JUNCTION BOX AT 60" AFF. FOR MIRROR POWER. VERIFY LOCATION AND REQUIREMENTS WITH MANUFACTURER INSTRUCTIONS AND DESIGN CONSTRUCTION MANAGER.
15. 2Ø, 4Ø, 6Ø RECEPTACLE AT 24" AFF. FOR SINK POWER. LOCATE RECEPTACLE 12" OFFSET FROM SINK CENTERLINE. VERIFY LOCATION AND REQUIREMENTS WITH DESIGN CONSTRUCTION MANAGER.
16. LEADING 4-GANG RTRIE SERIES SLAB ON GRADE FLOOR BOX OR EQUIV.
17. PROVIDE 1" C FOR HDMI CABLE FROM CONFERENCE ROOM TABLE TO DIGITAL DISPLAY ON WALL AT 60" AFF. VERIFY LOCATION AND REQUIREMENTS WITH DESIGN CONSTRUCTION MANAGER.
18. 4Ø, 2 POLE WITH SINGLE GANG RING, STUB 3/4" C WITH PULL STRING TO DATA RACK. VERIFY REQUIREMENTS AND LOCATION WITH DRG CONSTRUCTION MANAGER PRIOR TO ROUGH IN.
19. PROVIDE RECEPTACLE FOR SHADAC. VERIFY EXACT LOCATION IN FIELD WITH DRG CONSTRUCTION MANAGER.
20. PROVIDE J-BOX FOR HEAT TRACE.



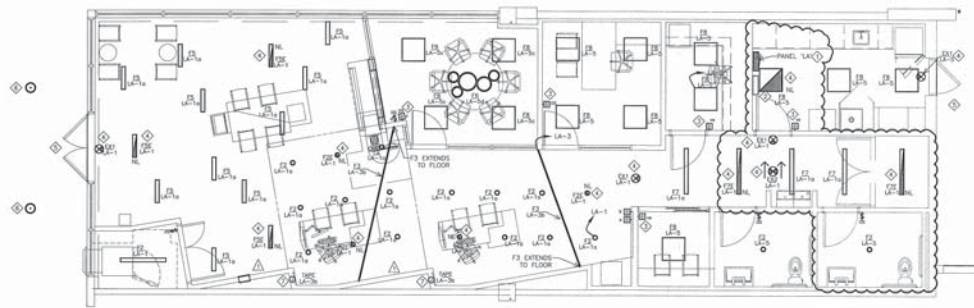
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**MIAMI LAKES**

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PLAN REVIEW RESPONSE 02/24/19  
PLAN REVIEW RESPONSE 06/01/19



**DUNHAM**  
ELECTRICAL POWER PLAN  
**E1**



1 LIGHTING PLAN  
1/4" = 1'-0"

TAD	MANUFACTURER	MODEL #	LAMPING	VOLTS	DESCRIPTION / COMMENTS
F1	LR	H5448BELL55053FLU (TRI-NIGHT) 0X035-F-1-10-LED (THREE FOOT CANOPY)	RW LED	120V	LED PENDANT
F2	PHILIPS	08L2004N410101 (ENGINE) 08L20L (TRIM)	19W LED	120V	4" LED DOWN LIGHT
F2E	PHILIPS	08L2004N410101 (ENGINE) 08L20L (TRIM)	19W LED	120V	4" LED DOWN LIGHT W/ EMERGENCY BATTERY
F3	PHILIPS	2301180523-XX-7-1-E	20.5W/4FT LED		RECESSED LINEAR LED
F3	FOCAL POINT	F3M4L3-FL-1000LF-ADK-1C-UNV-LED1 -C24-T5-2FT	21W LED	120V	2" LINEAR LED
F3E	FOCAL POINT	F3M4L3-FL-1000LF-ADK-1C-UNV-LED1 -C24-T5-2FT	21W LED	120V	2" LINEAR LED
F4	VORN	VLC555	92W LED	120V	LED PENDANT
F7	FOCAL POINT	F3M4L3-FL-1000LF-ADK-1C-UNV-LED1 -C24-T5-4FT	42W LED	120V	4" LINEAR LED
F7E	FOCAL POINT	F3M4L3-FL-1000LF-ADK-1C-UNV-LED1 -C24-T5-4FT	42W LED	120V	4" LINEAR LED
F8	PHILIPS	270338833-3-D-UNV-DM	34W LED	120V	2"x2" LED TROFFER
F8E	PHILIPS	270338833-3-D-UNV-DM-DALED	34W LED	120V	2"x2" LED TROFFER
TAPE	BLAZE	580C 200 LED TAPE LIGHT	2.83W LED	120V	TAPE LIGHT
EX1	PHILIPS	44RL102		120V	EXIT SIGN
EX2	PHILIPS	44RL102		120V	EXIT SIGN

- LIGHTING GENERAL NOTES**
- ALL ELECTRICAL SERVICE EQUIPMENT SHALL BE LOCATED WITHIN THE LEASE SPACE.
  - 3/4" MINIMUM FOR ENT BRANCH CIRCUIT, HOWEVER SHALL BE 3/4" MINIMUM WITH MAXIMUM 3-120V/20AMP BRANCH CIRCUITS. EACH CIRCUIT SHALL NOT SHARE NEUTRALES.
  - LIMITED USE OF MC CABLE TO FUTURE WIRING. EQUIPMENT CONNECTIONS AND EXISTING WALL INSTALLATIONS IS ACCEPTABLE AND SHALL ONLY BE USED FOR EQUIPMENT END CONNECTIONS, SUCH AS LIGHTING FIXTURES.
  - SEPARATE EQUIPMENT GROUND TO BE PULLED IN EACH CONDUIT.
  - PROVIDE STEEL COMPRESSION FITTING FOR ENT.
  - MINIMUM CONDUIT SIZE SHALL BE 3/4" SETSCREW TYPE FITTING IS NOT ALLOWED.
  - NO EXPOSED CONDUIT ALLOWED. IF EXISTING WALL DEMOLITION IS REQUIRED, PLEASE ENSURE PROPER FIRESTOPPING AND REPAIR/REMATCH WALL TO MATCH EXISTING.
  - ALL EMERGENCY, NIGHT LIGHTS, AND EXIT LIGHTS TO BYPASS ALL SWITCHING.
  - ALL ELECTRICAL RECEPTACLES AND SWITCHES SHALL BE LOCATED BETWEEN 1' MINIMUM AFF TO THE BOTTOM OF THE BOX AND 4" AFF TO THE TOP OF THE BOX.

- LIGHTING KEYED NOTES**
- ELECTRICAL EQUIPMENT VERIFY LOCATION IN FIELD. REFER TO PANELBOARD SCHEDULE ON E2.0.
  - LIGHTING CONTROL PANEL FOR:
    - EXTERIOR BUILDING MOUNTED LIGHTS
    - EXTERIOR PARKING LIGHTS
    - ENTRY/Lobby LIGHTS
    - TOWER LIGHTS
    - MONUMENT SIGN
    - ENTRY/RECEPTION LIGHTS
    - OFFICE/CONFERENCE LIGHT CONTROL PANEL, TO BE WATERPROOF LAMP/4 COMPLETE WITH INTERIOR AND PANEL CAN ETC. OR EQUIV. VERIFY LOCATION ACCORDING WITH DESIG. PRIOR TO BID AND INSTALL. LIGHTS TO BE CONTROLLED AS DESIG'D BY OWNER IN ACCORDANCE WITH CURRENT ENERGY CODE REQUIREMENTS.
  - PROVIDE LUTRON MAESTRO 0-10V DIMMER VARIAC SWITCH 160-210V-2W MOUNTED AT 48" AFF. PROVIDE ALL POWER PACKS AND ADDITIONAL WIRING AS REQUIRED.
  - ALL EMERGENCY BATTERY PACKS, NIGHT LIGHTS, AND EXIT LIGHTS TO BYPASS ALL SWITCHING.
  - VERIFY ADEQUATE GENERAL AND EMERGENCY LIGHTING EXISTS. REPAIR ANY DEFICIENCY TO ENGINEER.
  - LIGHTING WIRING IS EXISTING TO REMAIN. MAINTAIN EXISTING CIRCUITING AND CONTROL. CLEAN, REPAIR AND RE-BALANCE AS REQUIRED. ALL EMERGENCY, NIGHT LIGHTS, AND EXIT LIGHTS TO BYPASS ALL SWITCHING.
  - PROVIDE J-BOX FOR LED TAPE LIGHT.

Room/Area used	Lighting Control Zone	Time On/Off	Vacancy Sensor	Occupancy Sensor	Auto Off Time (Min)	Light Reduction %/ Feature Switching	Dimming Level	Daylight Harvest (Sensor)/ Automatic	Interior Daylight Sensor	Afterhours Override	Manual ON/OFF	DEMAND RESPONSE (CONTROL)	Exterior Postcut	Exterior Lighting Reduction	Keynotes
General Lobby/Corridor	X						0-10V 10%								
Accom Lighting	X						0-10V 10%								
Conference Room		X			15		0-10V 10%								
Reception			X		15		0-10V 10%								
Breakroom			X		15		0-10V 10%								
Board Room			X		15		0-10V 10%								
Video Conf. Room			X		15		0-10V 10%								
IT Room			X		15		0-10V 10%								
Office			X		15		0-10V 10%								
Alter Room			X		15		0-10V 10%								

**General Notes:**

- Provide all parts and pieces necessary to make a functional lighting control system with all controls as marked above. Manufacturer to be Lutron or equal.
- Designer to provide complete wiring diagram prior to installation.
- If dimming is used for an area above, it is the Contractor's responsibility to verify and provide all necessary parts, ballasts, drivers, etc. to provide the dimming function.
- Contractor to provide all wiring necessary including any 0-10V control wiring as required.
- All equipment shall have CE certification as required.

Miami Dade County Department of Regulatory And Economic Resources - Job Copy  
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Talia Rodriguez 4/22/2019 12:52:09 PMA PRIR Approved

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2912.036.00

Issue date: 11/02/18  
Drawn By: MAMM  
Checked By: RM

**revisions**

- PLAN REVIEW RESPONSE 02/26/19
- PLAN REVIEW RESPONSE 04/01/19

PH 18 011  
**PLAN REVIEW RESPONSE**

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**ELECTRICAL LIGHTING PLAN**  
**E2**

NOTES & TAGS	
	ELEC EQUIP CONNECTION TAG - SEE EQUIP SCHEDULE FOR CORRESPONDING OUTLET
	KEYNOTE
	CIRCUIT HOME RUN - L INDICATES PANEL - NUMBERS INDICATE CIRCUITS
	CONDUCTOR COUNT - UNLESS NOTED OTHERWISE / SHORT HAIR INDICATES #12 NEUTRAL / LONG HAIR INDICATES #12 GROUND / HIGH RV SPP INDICATES #12 GROUND
	JUNCTION BOX - WALL/CILING MOUNT
	LIGHT FIXTURE ID - REFER TO LIST SCHEDULE (FIRST SCHEDULE OVERIDES SYMBOL ABBREVIATION)
	A - INDICATES LIGHT FIXTURE TYPE
	7 - INDICATES CIRCUIT NUMBER
	S - INDICATES SWITCHING
	EM - INDICATES EMERGENCY BALLAST
	NL - INDICATES FIXTURE TO BE A NIGHT LIGHT
POWER	
	BRANCH CIRCUIT PANEL
	TRANSFORMER
	MOTOR OR MOTOR CONNECTION
	DISCONNECT SWITCH
	SINGLE RECEPTACLE
	DUPLEX RECEPTACLE
	EMERGENCY DUPLEX RECEPTACLE - WALL MOUNT
	SPLIT WIRED DUPLEX RECEPTACLE - WALL MOUNT
	QUADPLEX RECEPTACLE - WALL MOUNT
	EMERGENCY QUADPLEX RECEPTACLE - WALL MOUNT
	DUPLEX RECEPTACLE - CEILING MOUNT
	GFI RECEPTACLE, DUPLEX/QUADPLEX - WALL MOUNT
	CLOCK RECEPTACLE - WALL MOUNT
	SPECIAL PURPOSE RECEPTACLE - WALL/CIG MNT
	FLOOR BOX - DEVICES AS INDICATED
	POWER POLE - DEVICES AS INDICATED
	WALLOUTLET ASSEMBLY - DEVICES AS INDICATED
SWITCHES & CONTROLS	
	SINGLE POLE TOGGLE SWITCH - MOUNT AT 48"
	THREE WAY TOGGLE SWITCH
	TOGGLE SWITCH - "Q" INDICATES SWITCHING
	PILOT LIGHT TOGGLE SWITCH
	ILLUMINATED TOGGLE - TOGGLE SWITCH
	KEYED SWITCH
	MOUNTAINRY CONTACT TOGGLE SWITCH
	TIMER SWITCH
	DIMMER SWITCH (E = WATTS)
	OCCUPANCY SENSOR - WALL/CIG MOUNT
	OCCUPANCY SENSOR WALL SWITCH
	PHOTO ELECTRIC CELL
	TIME CLOCK
	CONDUCTOR
	LOW VOLTAGE TRANSFORMER
	ELECTRIC THERMOSTAT
	PUSHBUTTON STATION - BUTTONS AS INDICATED
ABBREVIATIONS	
AF	ABOVE FINISHED FLOOR
AFS	ABOVE FINISHED GRADE
AU	AUTHORITY HAVING JURISDICTION
OD	CONDUIT/CHANNEL (GENERAL) OUTLET
GR/DF	GROUND FAULT INTERRUPTER
GRD	GROUND
IG	ISOLATED GROUND
TRNG	TRUSS
LC	LIGHT COUNTER
UNO	UNLESS NOTED OTHERWISE
WP	WATERPROOF
X	EXTEND ITEM TO REMAIN

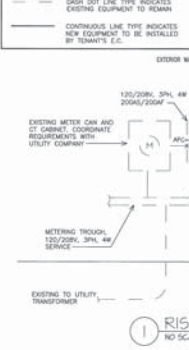
**RISER DIAGRAM NOTES:**

1. INFORMATION ON THE ELECTRICAL SERVICE ENTRANCE IS BASED ON THE INFORMATION RECEIVED AT THE TIME OF DESIGN FOR THIS PROJECT. EXACT INFORMATION WAS NOT AVAILABLE. CONTRACTOR SHALL VERIFY ELECTRICAL SERVICE AND ALL EQUIPMENT AGAINST THE DESIGN AND REPORT ANY DISCREPANCIES THAT CAN NOT BE RESOLVED IN THE FIELD, TO THE ENGINEER FOR FURTHER INSTRUCTION AND/OR POSSIBLE REVISION OF AFFECTED ITEMS.
2. LOCAL PANEL SIZES ARE EXCLUSIVELY DESIGNATED SPACES IN ACCORDANCE WITH NEC 175.18. FUSED UNFUSED DO NOT USE RISER DIAGRAM TO LOCATE EQUIPMENT REFER TO POWER PLAN FOR LOCATIONS. FUSED UNFUSED OPENINGS IN PANELS/SIGNS.
3. ELECTRIC SHALL BE ON SITE DURING THE O.B.S. INSPECTION.
4. FUTURE BONDING CONDUCTORS AS REQUIRED PER N.E.C. 250.
5. CONTRACTOR SHALL PROVIDE ALL CONDUIT, WIRE, MISCELLANEOUS ITEMS AND WORKMAN, ETC., FOR A COMPLETE AND OPERATIONAL SYSTEM.

IF YOU HAVE ANY QUESTIONS REGARDING THE ELECTRICAL PLAN, PLEASE CALL THE ELECTRICAL DESIGNER.

Melissa Mank  
PH: 305-465-7632  
E-MAIL: melissa.mank@amerrant.com

**RISER LEGEND**



**NOTE:**  
A. ELECTRICAL CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS DURING PRE-BID MEETINGS TO BID. FIELD VERIFY THAT EXISTING SERVICE CAPACITY IS ADEQUATE. NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO BID. ADDITIONAL FEES DUE TO LACK OF COMPLIANCE WILL NOT BE ACCEPTED.

**ELECTRICAL LOAD SUMMARY**

LINE TYPE	CONNECT (LOAD DWS)	DIVING FACTOR	DIVING (LOAD DWS)
GENERAL LIGHTING	2.8	1.25	3.5
RECEPTACLES	11.1	1.25	13.9
H.V.A.C. & MISC. MOTORS	21.8	1.25	27.3
ELECTRIC HEAT	—	1.25	—
TOTAL	41.8	—	45.0

SERVICE RATING (LOAD) = 450 AMP.  
45.0 @ 208V/3PH = 125 KW.

**FAULT CURRENT CALCULATION AND ARC FLASH ANALYSIS ARE BASED ON THE FOLLOWING ASSUMPTIONS:**

- 45.0 MW Short Circuit Amps Available at Service Entrance
- 2.5 FT. C.W. MEDIUM RATED Conduit and Wire | 120' Distance From L to Gear | 10' IMLA

**NOTES TO ELECTRICAL CONTRACTOR**

- Electrical Contractor upon being awarded contract, shall contact the utility to obtain the actual available fault current and verify all above information upon arrival on site, prior to ordering or approving release of equipment and report updated information to contract before. Engineer will recalculate available fault currents and relay results to the Electrical Contractor for compliance with IEEE 1582.03 and IEEE 1582.04 fault marking requirements. This procedure shall be done for all new and/or relocated single-phase and/or three-phase equipment of various code adoption.
- Electrical Contractor to provide arc flash hazard warning field marking per IEEE 1582.03.
- Electrical Contractor to provide safety data sheet per NEC 130-22(b) where there is an applied safety rating as shown on the drawings.
- Any additional costs for failure to comply with the above requirements will be strictly at contractor's expense.

Engineering Contact: Melissa Mank  
Phone: 305-465-7632  
Email: melissa.mank@amerrant.com

**FAULT CURRENT CALCULATION NOTE:**

DISTANCES LISTED IN THE FAULT CURRENT CALCULATION BLOCK ARE ASSUMPTIONS USED FOR CALCULATING THE AVAILABLE FAULT CURRENT AND NOT TO BE USED FOR BIDDING. CONTRACTOR TO COORDINATE LOCATION OF TRANSFORMER WITH DWS AND UTILITY. CONTRACTOR TO COORDINATE ALL CONDUIT RUNS IN THE FIELD WITH ALL OTHER TRADES AND PROVIDE CONDUIT AND WIRE LENGTHS AS REQUIRED FOR A COMPLETE AND COORDINATED SYSTEM.

**Panel: PANEL LA Voltage: 120/208V, 3PH, 4W**

No.	Device	Qty	Code L	Code C	Code R	Code S	Code T	Code U	Code V	Code W	Code X	Code Y	Code Z
1	2011 LOBBY/RECEPTION LIGHTING	A	303										
2	2011 LOBBY ACCENT LIGHTING	B	137										
3	2011 BOHOFFICE LIGHTING	C	888										
4	2011 RECEPTION	D	180										
5	2011 BOYB WALL	B	800										
6	2011 WATER COOLER	A	600										
7	2011 RECEPTION RECEPTACLE	C	180										
8	2011 RECEPTION	B	180										
9	2011 RECEPTION RECEPTACLE	C	180										
10	2011 RECEPTION	B	180										
11	2011 RECEPTION RECEPTACLE	C	180										
12	2011 RECEPTION	B	180										
13	2011 RECEPTION RECEPTACLE	C	180										
14	2011 RECEPTION	B	180										
15	2011 RECEPTION RECEPTACLE	C	180										
16	2011 RECEPTION	B	180										
17	2011 RECEPTION RECEPTACLE	C	180										
18	2011 RECEPTION	B	180										
19	2011 RECEPTION RECEPTACLE	C	180										
20	2011 RECEPTION	B	180										
21	2011 RECEPTION RECEPTACLE	C	180										
22	2011 RECEPTION	B	180										
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54	2011 RECEPTION	B	180										
55	2011 RECEPTION RECEPTACLE	C	180										
56	2011 RECEPTION	B	180										
57	2011 RECEPTION RECEPTACLE	C	180										
58	2011 RECEPTION	B	180										
59	2011 RECEPTION RECEPTACLE	C	180										
60	2011 RECEPTION	B	180										
61	2011 RECEPTION RECEPTACLE	C	180										
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2912.036.00

Issue date: 11/06/18  
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Checked by: RM

revisions  
PLAN REVIEW RESPONSE 05/24/19  
PLAN REVIEW RESPONSE 04/01/19

JUNE 05, 2019  
PLAN REVIEW RESPONSE

**DUNHAM**  
100 South Bay Road, Suite 100  
Weston, MA 02459  
781-326-1000  
www.dunhamcorp.com

**ELECTRICAL SCHEDULES AND NOTES**  
**E3**

PART 1 - GENERAL

- 1. GENERAL CONDITIONS
2. SCOPE OF WORK
3. DRAWINGS AND DOCUMENTS
4. THE DRAWINGS AND SPECIFICATIONS FORM A COMPLETE SET OF PLANS FOR THE ELECTRICAL WORK FOR THIS PROJECT...
5. MAINTENANCE MANUALS AND RECORD COPIES
6. MANUFACTURER'S CATALOG DATA
7. REPAIRABLE PARTS LIST
8. MAINTENANCE MANUALS
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PART 2 - PRODUCTS

- 1. MATERIALS APPROVAL
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Miami Dade County Department of Regulatory And Economic Resources - Job Copy
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Issue date: 11/20/18
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Checked by: BM

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PLAN REVIEW RESPONSE 02/24/19
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APR 01 2019
PLAN REVIEW RESPONSE



ELECTRICAL SPECIFICATIONS
E4

2.1.1. FIBER OPTIC CABLES SHALL BE ONE-TWO FIBER OPTIC CABLES MANUFACTURED BY BUNNELL GOLD BROADBAND OR LITTLE FIBER.

2.1.2. THE CONTRACTOR SHALL FURNISH AND INSTALL FIBER OPTIC CABLES AND PATCH PANELS IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS IN EACH FIBER OPTIC DEVICE INSTALLED BY THE CONTRACTOR.

2.1.3. FIBER OPTIC CABLES SHALL BE INSTALLED IN THE FOLLOWING MANNER:

1. FIBER OPTIC CABLES SHALL BE INSTALLED IN THE FOLLOWING MANNER:
2. FIBER OPTIC CABLES SHALL BE INSTALLED IN THE FOLLOWING MANNER:
3. FIBER OPTIC CABLES SHALL BE INSTALLED IN THE FOLLOWING MANNER:

2.2.1. THE CONTRACTOR SHALL PROVIDE MODIFICATIONS TO THE EXISTING FIRE ALARM SYSTEM AS A RESULT OF THE ADDITION OF THE FOLLOWING:

2.2.2. THE CONTRACTOR SHALL PROVIDE MODIFICATIONS TO THE EXISTING FIRE ALARM SYSTEM AS A RESULT OF THE ADDITION OF THE FOLLOWING:

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Drawn By: MAMA  
Checked By: RM  
revisions  
PLAN REVIEW RESPONSE 02/24/19  
PLAN REVIEW RESPONSE 04/01/19



ELECTRICAL SPECIFICATIONS  
E5



**CEILING FINISHES**

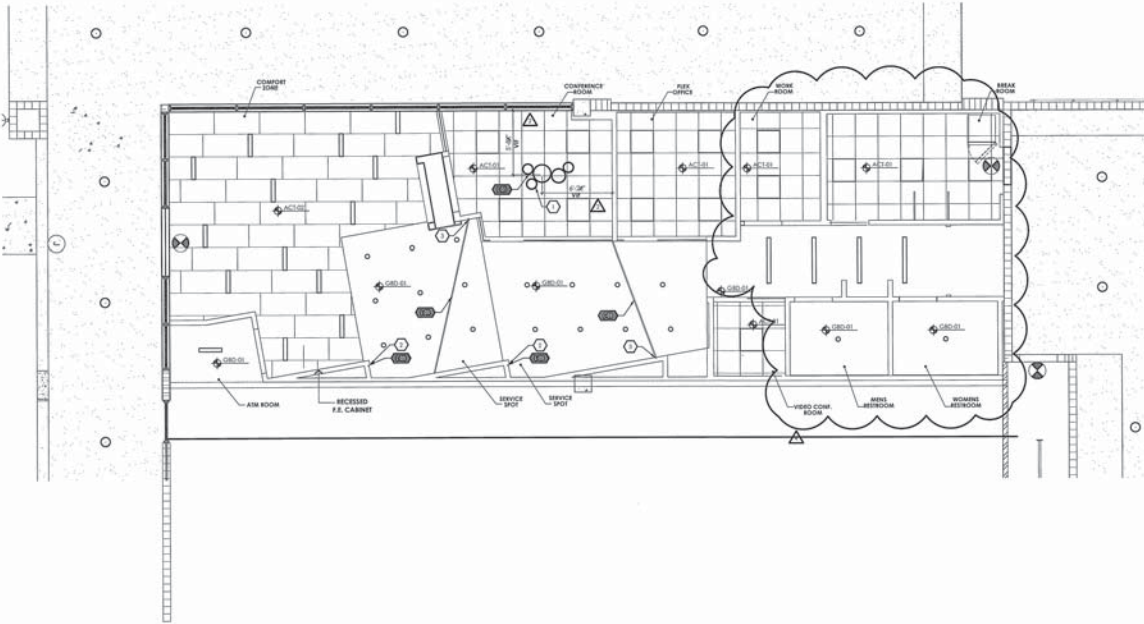
ACT	TAG	TYPE	MANUFACTURER	FAMILY/SERIES	PATTERN	COLOR	DIMENSIONS
ACT-01	TB	Tile	Cerata-Seal	Sand Micro Customline	N/A	White	24 x 24
ACT-02	TB	Tile	Cerata-Seal	Sand Micro Customline	N/A	White	2 x 4
F-01	LDR	LDR	Shaw-Wilkins	N/A	SW to match DEW392	SW to match DEW392	Cashmere Low Lustre

**DECORATIVE LIGHTING**

LTAG	TYPE	QTY	MANUFACTURER	MODEL	COLOR/TMPERATURE
033	LDR	1	Vorn Lighting	Capella	3000 Kelvin
LGS Refer to RCP/Lighting schedule for linear footage			TuLine	Ln	3000 Kelvin

**General Notes**

- All finish dimensions are face of stud to face of stud, u.d.s.
- Refer to sheet 1880 for room finish and decorative lighting schedule.
- Refer to mechanical, plumbing, electrical plans for additional information.
- All finishes and finish methods, colors or textures shall be verified by DBS Design prior to installation, fabrication or ordering.
- All backing to be the contractor's material and installed as indicated on this sheet.
- DBS Design and G.C. are responsible for supplying the highest quality and greatest quantity for the purpose of meeting any conflicts in the construction documents which are typewritten or unaltered.
- G.C. to field verify all dimensions prior to commencement of any work.
- Refer to specifications, schedules, and manufacturer's website for additional information, changes & updates to any finish materials, finishes, colors, and equipment used in the project.
- Calling to receive general part # 01, u.d.s.
- Refer to electrical plans for architectural lighting locations & specifications.
- Light fixtures to be an occupancy sensor in restrooms.
- G.C. to verify location of light fixtures in field (FF).



**Key Notes**

- Refer to lot centered above conference table. Height to be 7'-0" A.F.F. to E.C. below.
- Linear strip fixture L-08 in average chair.
- Combine linear strip fixture L-08 down this wall to the finished floor.

**Symbol Legend**

	Room Name		Ceiling Finish Trap
	Room Number		Lighting Trap
	Room Size		Roller Shade Tag
	Calling Phone		Verify in Field
	Slope Direction		Slope Direction
	3 x 2 Recessed		Recessed Can
	2 x 4 Recessed		Wall Washer
	Emergency Lighting		Spot Light
	Linear Fixture		Parabolic Fixture
	Recessed Galle		Exit Sign
	Supply Galle		Recessed Galle

**Graphic Legend**

	G80
--	-----

**01 RCP**  
SCALE: 1/4" = 1'-0"

**AMERANT**  
15151 NW 37th Avenue, Miami Lakes, FL 33014  
**MIAMI LAKES**

PROJECT NO: 187907-005

Issue date: 2018.10.31  
Drawn By: AS  
Checked By: EB

revisions

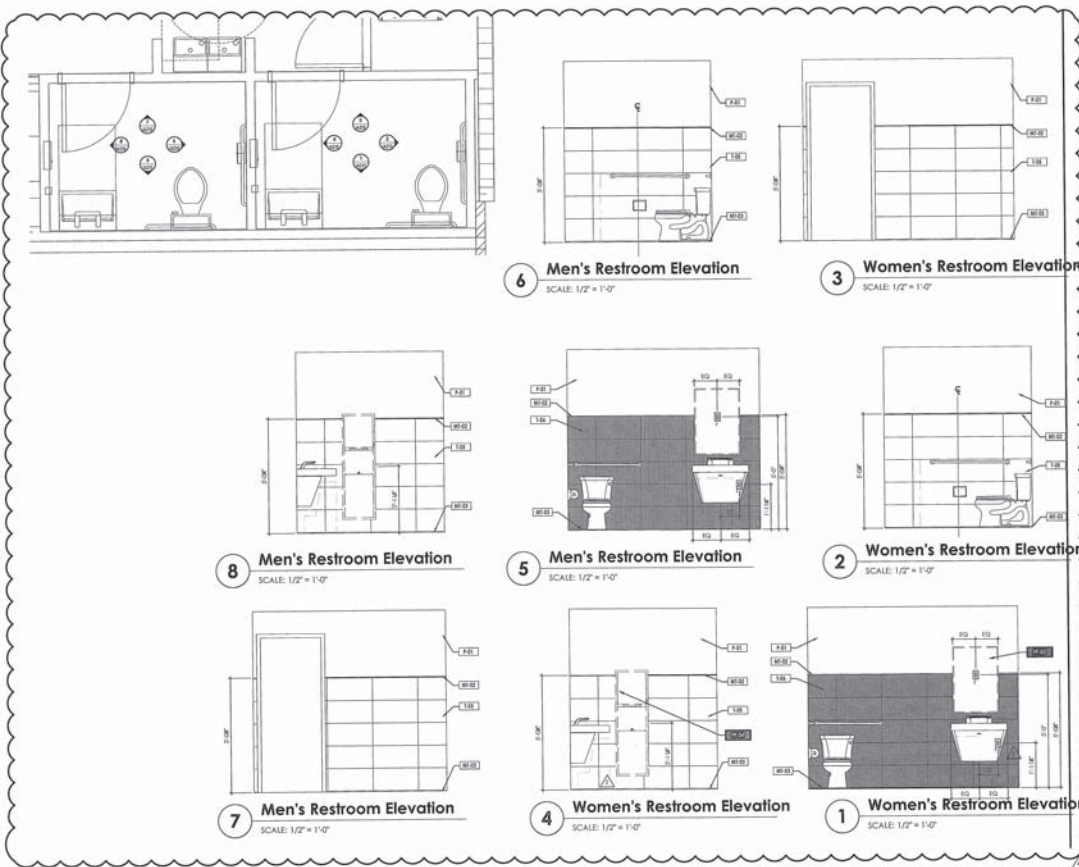
▲ CITY COMMENTS 2019.03.28  
▲ CLIENT UPDATES 2019.02.22  
▲ COORDINATION 2019.01.28

**BID SET**

FOR REFERENCE ONLY

RCP  
**IA120**

NOTE:  
REFER TO SHEET IA100 FOR FINISH  
SCHEDULE.



**General Notes**

1. G.C. to field verify all dimensions prior to commencement of work.
2. All wall finish materials to be installed per manufacturer's installation instructions. Refer wall as necessary prior to installation.
3. All walls to ensure general wall post-FIN back first to ceiling, corner to corner e.t.c.
4. Where wall (2) joint occurs, must transition to occur in male corner.
5. Where wall finish material does not abut another or terminate into a wall, exposed edges shall be treated with the appropriate edge protection film.
6. All transition clips will be recessed at corner.
7. Walls finished with material of high water content (such as MCFC, backsplashes, stone, stone veneer, etc.) use MGT to receive wall finish at every corner.
8. All wallboard shall be to be capped with wall grade MGT. Kicker should MGT to be installed during perimeter windows or doors to frame, with cap for normal operation. G.C. to field verify dimensions prior to building other trades.
9. Refer to wall elevations for the edge location.
10. Refer to specifications pages for additional information for off wall finishes indicated in the drawing.
11. Reference manufacturer's website for changes & updates to the specifications.
12. Refer to the wall finish schedule for specifications.
13. Should any existing field conditions differ from plans as shown, the G.C. and its subcontractors are required to contact the design team IMMEDIATELY to discuss any discrepancies discovered onsite.
14. Refer to project manual and state for room information and sheet IA100 for painting accessories schedule.



**AMERANT**  
15155 NW 18th Avenue, Miami Lakes, FL 33014  
**MIAMI LAKES**

187909-005

Issue date	Drawn By	Checked By
2018.10.31	AS	KB
<b>revisions</b>		
▲ CITY COMMENTS	2019.03.24	
▲ CLIENT UPDATES	2019.03.22	
▲ COORDINATION	2019.01.28	

**BID SET**

**Symbol Legend**

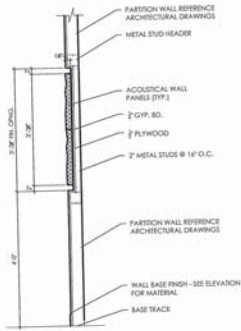
- Keynote
- Room Name
- Room Number
- Room Size
- Green Direction
- Clear/Not Graphic Tag
- Equipment Tag
- Finish Tag
- Painting Finish Tag

**Graphic Legend**

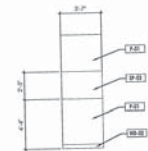


FOR REFERENCE ONLY

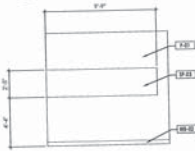
IA210



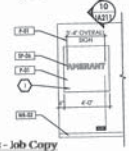
**9 Acoustic Panels Wall Section**  
SCALE: 3/4" = 1'-0"



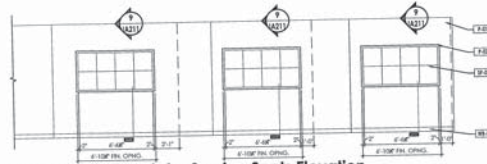
**8 Conference Room Elevation (North)**  
SCALE: 1/4" = 1'-0"



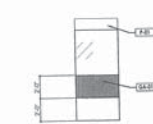
**7 Conference Room Elevation (East)**  
SCALE: 1/4" = 1'-0"



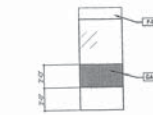
**6 Signage Niche Elevation**  
SCALE: 1/4" = 1'-0"



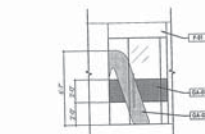
**5 Acoustic Panels by Service Spots Elevation**  
SCALE: 1/4" = 1'-0"



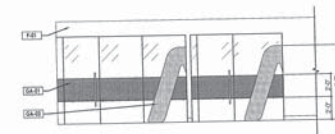
**4 Conference Room Glass Graphic Elevation**  
SCALE: 1/4" = 1'-0"



**3 Conference Room Glass Graphic Elevation (West)**  
SCALE: 1/4" = 1'-0"



**2 Video Conference Room Glass Graphic Elevation**  
SCALE: 1/4" = 1'-0"



**1 Conference Room and Flex Office Glass Graphic Elevation**  
SCALE: 1/4" = 1'-0"

**General Notes**

- G.C. to field verify all dimensions prior to commencement of work.
- All wall finish materials to be installed per manufacturer's installation instructions. Prep wall as necessary prior to installation.
- All walls to receive general wall panel P-88 from floor to ceiling, corner to corner w.o.s.
- Where two (2) panel colors meet, separation to occur in inside corners.
- Where a wall finish material does not abut another or terminate into a wall, exposed edges shall be finished with the appropriate edge architectural trim.
- All installation items will be reviewed for content.
- Wall base MB-88 to be provided with general panel P-88 and throughout w.o.s.
- Sound Attenuator wall base MB-88 to be provided in all non-ducted lighting areas w.o.s.
- Walls finished with material of highly textured surfaces such as brick, block, granite, stone, stone veneer, etc., use MB-88 to receive wall base of any type.
- Refer to specifications pages for additional information for all wall finishes indicated in this drawing.
- Subcontractor to provide all materials for changes & updates to the specifications.
- Refer to the wall finish schedule for specifications.
- Should any existing field conditions differ from those as shown, the G.C. and its subcontractors are required to contact the design team IMMEDIATELY to discuss any discrepancy discovered onsite.
- Refer to sheet IA211 for finish information.

**Key Notes**

- Niche to receive P-88 on niche surroundings.

**Symbol Legend**

- Keynote
- Room Name
- Room Number
- Room Size
- Room Division
- Roller Shutter Top
- Operated Graphic Top
- Equipment Top
- Finish Top



1150 West Broward Blvd., Suite 1000  
Fort Lauderdale, FL 33311  
Tel: 754.241.7781  
www.dbsi.com

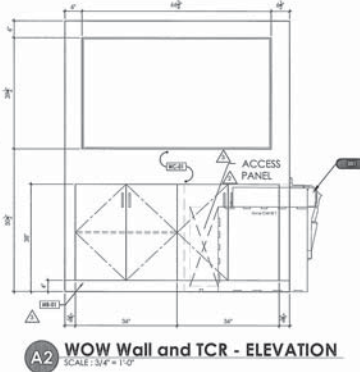
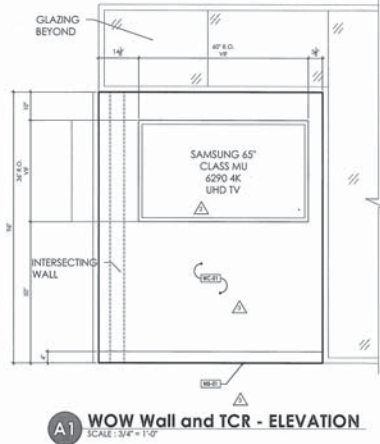
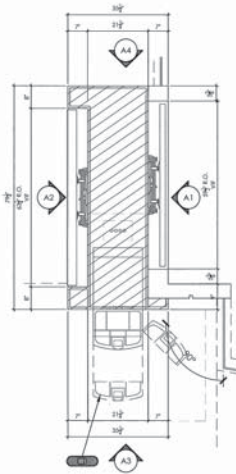
**AMERANT**  
1500 BENTLEY AVENUE, MIAMI LAKES, FL 33014  
**MIAMI LAKES**

187909-005

Issue Date	2018.10.31
Drawn By:	AS
Checked By:	KB
revisions	

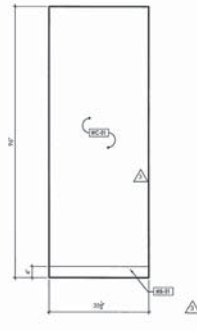
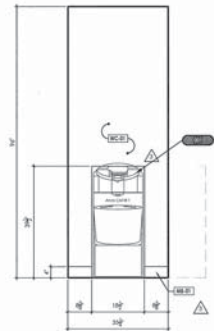
CLIENT UPDATES	2019.02.22
COORDINATION	2019.01.28
BID SET	
FOR REFERENCE ONLY	

**10 Signage Wall Section**  
SCALE: 3/4" = 1'-0"



**A1** WOW Wall and TCR - ELEVATION  
SCALE: 3/4" = 1'-0"

**A2** WOW Wall and TCR - ELEVATION  
SCALE: 3/4" = 1'-0"



**A3** WOW Wall and TCR - ELEVATION  
SCALE: 3/4" = 1'-0"

**A4** WOW Wall and TCR - ELEVATION  
SCALE: 3/4" = 1'-0"

NOTE:  
REFER TO SHEET 18A81R FOR  
MILLWORK FINISH SCHEDULE

**General Millwork Notes**

- A. Millwork items to be custom grade, per specifications.
- B. Case construction materials shall be plywood or mill particle board & not permitted.
- C. All exposed exterior surfaces shall receive scheduled finishes.
- D. All interior and exterior finishes shall be finish with BLACK ANTIMOLD OR ANTIMOLD.
- E. All construction shall be finish verified prior to installation.
- F. Keeping of locks to be verified with owner prior to installation.
- G. Refer to sheet 18A81R for finish information and equipment schedule.

**Key Notes**

- 1. Counter top - for solid surface apply over 3/4" plywood, finish as specified, provide counter - apply over (2) layers 3/4" plywood, finish as specified.
- 2. 3/4" melamine panel with grain finish, as specified, typical.
- 3. Doors with p-ken finish on all exposed surfaces, provide hardware, as specified.
- 4. Dimension (min 1" deep) with p-ken finish on all exposed surfaces, provide hardware, as specified.
- 5. Upper cabinet with p-ken finish on all exposed surfaces, provide door pulls, as specified, and provide end panels, as required.
- 6. Shelf standards, as specified.
- 7. Adjustable shelves, with grain on all exposed surfaces to match millwork elements.
- 8. All interior surfaces to be white melamine (MO).
- 9. Melamine back, as specified.
- 10. Continuity to closet, anchored to wall panel to match adjacent wall.
- 11. Backer counter support, with 1818, fully recessed, anchor to wall and counter per manufacturer's written instructions.
- 12. Back splash, finish to match countertop.
- 13. Fabric shower panel, with grade stainless steel, as specified.
- 14. Doors with integral knee lock, for ADA access, provide plastic laminate finish, as specified.
- 15. Locking mechanism, see Hardware Schedule.
- 16. 3/4" x 3/4" for handle stock attachment to underside of cabinet.
- 17. 3/8" galvanized rods, for cable management.
- 18. Integral shower panel, for access to power/water connections, provide locking mechanism, see hardware schedule.
- 19. 1" x 1" x 1/2" of handle to counter.
- 20. Anti-kick privacy screen, as specified, anchored to millwork panel with clip.
- 21. Hardware panel, p-ken finish per finish schedule.
- 22. Heat treated stainless steel.
- 23. 1/2" UTZ thick steel, with white melamine finish on all exposed surfaces.
- 24. If 3/8" galvanized rods, see hardware schedule.
- 25. Hardware lockers with white melamine finish on all exposed surfaces, provide locking mechanism, see hardware schedule.
- 26. Pull out drawer with 3/8" front panel (bottom of equipment to top of front panel to be no larger than 1/2").
- 27. ADA height surface.
- 28. Front recess of cabinet counter only lag to match surrounding p-ken.
- 29. Door of the location see to knee knee board access, provide electrical for this function.
- 30. Ventilation screen of the door.
- 31. Pull out sliding shelf.
- 32. The cabinet with p-ken finish on all exposed surfaces, provide door pulls, as specified, and provide end panels, as required.

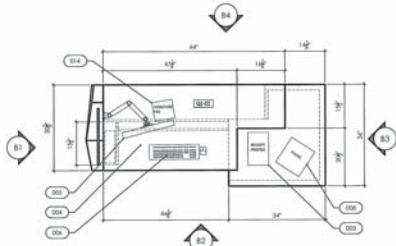
**Symbol Legend**

- Keynote
- Finish tag
- Equipment tag



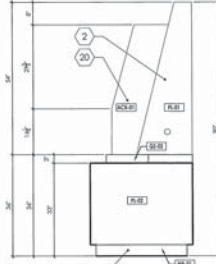
187909-005	
Issue date	2018.10.31
Drawn By:	AS
Checked By:	KB
revisions	
	CLIENT UPDATES 2019.02.22
	COORDINATION 2019.01.28
BID SET	





**B Service Spot Plan**  
SCALE: 3/4" = 1'-0"

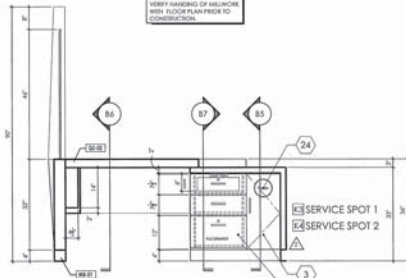
NOTE:  
REFER TO SHEET M401 FOR  
MILLWORK FINISH SCHEDULE



**B3 Side Elevation**  
SCALE: 3/4" = 1'-0"



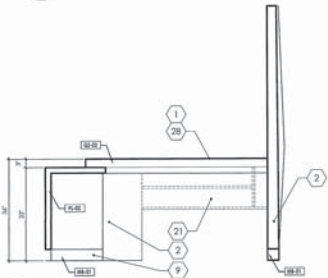
**B1 Side Elevation**  
SCALE: 3/4" = 1'-0"



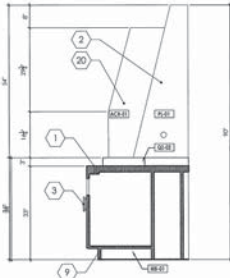
**B2 Service Spot Elevation**  
SCALE: 3/4" = 1'-0"



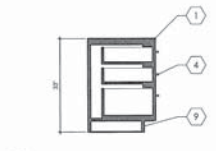
**B6 Service Spot Section**  
SCALE: 3/4" = 1'-0"



**B4 Service Spot Elevation**  
SCALE: 3/4" = 1'-0"



**B5 Service Spot Section**  
SCALE: 3/4" = 1'-0"



**B7 Service Spot Section**  
SCALE: 3/4" = 1'-0"

**General Millwork Notes**

- A. Millwork items to be custom grade, per specifications.
- B. Case construction methods shall be per the millwork finish schedule and not painted.
- C. All exposed exterior surfaces shall receive scheduled finishes.
- D. All drawer and cabinet interiors shall be lined with BLACK melamine as specified.
- E. All dimensions shall be face-unless noted otherwise.
- F. Finishing of millwork shall be verified with owner prior to installation.
- G. Refer to sheet M401 for finish information and equipment schedule.

**Key Notes**

1. Counter top, for solid surface apply over 3/4" plywood, finish as specified; granite laminate countertop - apply over 2 layers 3/4" plywood, finish as specified.
2. 3/4" melamine panels with p-bam finish, as specified, typical.
3. Doors with p-bam finish on all exposed surfaces, provide hardware, as specified.
4. Drawers (per 1" deep) with p-bam finish on all exposed surfaces, provide hardware, as specified.
5. Upper cabinet with p-bam finish on all exposed surfaces, provide door pulls, as specified, and provide and panels, as required.
6. Steel drawers, as specified.
7. Adjustable shelves, with finish on all exposed surfaces to match millwork finish.
8. All interior surfaces to be white melamine (M2).
9. Base/move track, as specified.
10. Countertops to be fixed, anchored to wall, joint to match adjacent wall.
11. Brass counter support, as B10, fully recessed, anchor to wall and countertop per manufacturer's installation instructions.
12. Back splash, finish to match countertop.
13. Filler above panel, with plastic laminate base, as specified.
14. Doors with integral base kick, for ADA access, provide plastic laminate finish, as specified.
15. Locking mechanism, see Hardware Schedule.
16. 3/4" x 3/4" nail bar hidden above attachment to underside of counter.
17. 2" x 2" grommet hole, for cable management.
18. Recessed cabinet panel, for access to perimeter electrical, provide locking mechanism, see Hardware Schedule.
19. 1" x 1" cut in cabinet to panel.
20. Acrylic privacy screen, as specified, anchored to millwork panel with clip.
21. Melamine panel, p-bam finish per finish schedule.
22. Mill-mounted topographic drawer.
23. 1-1/2" wide steel, with white melamine finish on all exposed surfaces.
24. 1/2" grommet hole, for both mechanical and electrical.
25. Employee lockers with white melamine finish on all exposed surfaces, provide powdercoating capability mechanism, see Hardware Schedule.
26. Base in contact with or protrusion, termination, depend B10, etc.
27. Pull out drawer with 3/4" front panel (bottom of equipment to top of base panel) to be no larger than 13-1/2".
28. ADA height surface.
29. Round corner of under counter may help to match surrounding panel.
30. Doors of this location are to have key card access; provide mechanism for the lockset.
31. Ventilation louvers of this door.
32. Pull out sliding shelf.
33. 3" tier access with p-bam finish on all exposed surfaces, provide door pulls, as specified, and provide end panels, as required.

**Symbol Legend**

- (B1) Keynote
- (B2) Trim Top



**AMERANT**  
15151 SW 64th Avenue, Miami Lakes, FL 33014  
**MIAMI LAKES**

PROJECT NO.  
187909-005

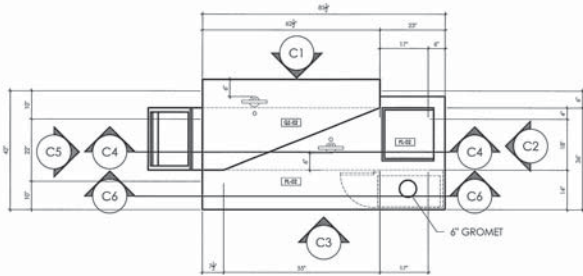
Issue date	By
2018.10.31	RJ
Checked By:	KB
<b>revisions</b>	

CLIENT UPDATES 2019.02.22  
COORDINATION 2019.01.28

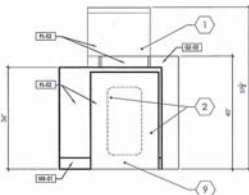
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FOR REFERENCE ONLY

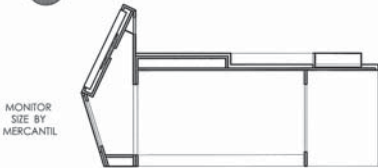
Milwork Details  
**A221**



**C Interactive Discovery Plan**  
SCALE: 3/4" = 1'-0"

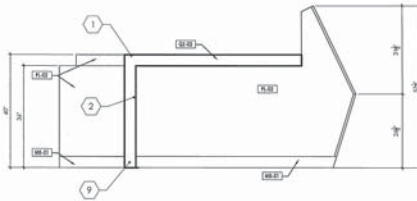


**C2 Interactive Discovery Elevation**  
SCALE: 3/4" = 1'-0"

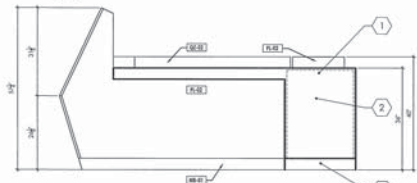


**C4 Interactive Discovery Section**  
SCALE: 3/4" = 1'-0"

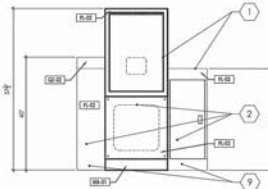
NOTE:  
REFER TO SHEET M&B FOR  
MILLWORK FINISH SCHEDULE



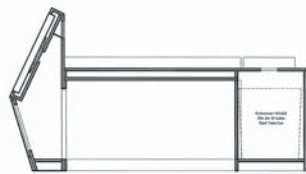
**C1 Interactive Discovery Elevation**  
SCALE: 3/4" = 1'-0"



**C3 Interactive Discovery Elevation**  
SCALE: 3/4" = 1'-0"



**C5 Interactive Discovery Elevation**  
SCALE: 3/4" = 1'-0"



**C6 Interactive Discovery Section**  
SCALE: 3/4" = 1'-0"

**General Millwork Notes**

- A. Millwork items to be custom grade, per specifications.
- B. Case construction material must be plywood or mill particle board & not permitted.
- C. All exposed exterior surfaces shall receive scheduled finishes.
- D. All interior and cabinet interiors shall be lined with BLACK melamine or specified.
- E. All millwork shall be installed prior to installation.
- F. Finishing of locks to be verified with owner prior to installation.
- G. Refer to sheet M&B for finish information and equipment schedule.

**Key Notes**

NOTE: NOT ALL LISTED NOTES APPLY\*\*

1. Counter top - for solid surface apply over 3/4" plywood, finish as specified; plastic laminate countertop - apply over (2) layers 3/4" plywood, finish as specified.
2. 3/4" melamine panels with glass finish, as specified, (upside down) with glass finish on all exposed surfaces, provide hardware, as specified.
3. Drawers (per 1/8" thick) with glass finish on all exposed surfaces, provide hardware, as specified.
4. Upper cabinet with glass finish on all exposed surfaces, provide door pulls, as specified, and provide end panels, as required.
5. Shelf standards, as specified.
6. Adjustable shelves with finish on all exposed surfaces to match finished interior.
7. All interior surfaces to be white melamine (MC).
8. Baseboard kick, as specified.
9. Continuous D-cleat, anchored to wall, panel to match adjacent wall.
10. Mobile counter support, with FHS, fully recessed, anchor to wall and counter per manufacturer's instructions.
11. Rock splash, finish to match countertop.
12. Glass storage panel, with plastic laminate finish, as specified.
13. Doors with assigned base kick, for ADA access, provide plastic laminate finish, as specified.
14. Locking mechanism, see Hardware Schedule.
15. 1/2" x 1/2" end for cabinet door attachment to underside of counter.
16. 2" x 3" grommet hole, for cable management.
17. Mount second panel, for access to pre-wired network ports, provide locking mechanism, see hardware schedule.
18. 9" x 12" hole of counter to panel.
19. Adjustable privacy screen, as specified, anchored to millwork panel with clip.
20. Modern panel, glass finish per finish schedule.
21. Mill mounted adjustable shelves.
22. 1/2" thick shelf, with white melamine finish on all exposed surfaces.
23. 1/2" grommet hole, for finish schedule finish.
24. Hardware lockers with white melamine finish on all exposed surfaces, provide locking mechanism, see hardware schedule.
25. ADA height surface.
26. ADA height surface.
27. Mill edge of end cabinet side leg to match surrounding panel.
28. Doors of this location are to have key card access provide identification to the location.
29. All out doors with 3/4" end panel bottom of equipment to top of end panel to be no longer than 1'-0".
30. All out doors with 3/4" end panel bottom of equipment to top of end panel to be no longer than 1'-0".
31. All out doors with 3/4" end panel bottom of equipment to top of end panel to be no longer than 1'-0".
32. All out doors with 3/4" end panel bottom of equipment to top of end panel to be no longer than 1'-0".
33. All out doors with 3/4" end panel bottom of equipment to top of end panel to be no longer than 1'-0".
34. All out doors with 3/4" end panel bottom of equipment to top of end panel to be no longer than 1'-0".
35. All out doors with 3/4" end panel bottom of equipment to top of end panel to be no longer than 1'-0".
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48. All out doors with 3/4" end panel bottom of equipment to top of end panel to be no longer than 1'-0".
49. All out doors with 3/4" end panel bottom of equipment to top of end panel to be no longer than 1'-0".
50. All out doors with 3/4" end panel bottom of equipment to top of end panel to be no longer than 1'-0".

**Symbol Legend**

- Example
- Finish Top

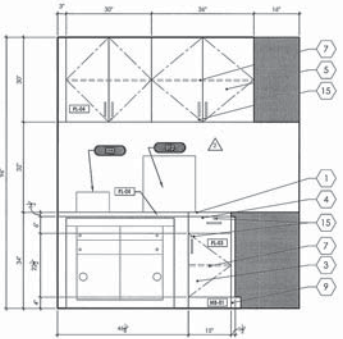


PROJECT NO. 187909-005	
Issue date 2018.10.31	#J
Drawn By:	#B
Checked By:	#B
revisions	
CLIENT UPDATES	2019.02.22
COORDINATION	2019.01.28
BID SET	

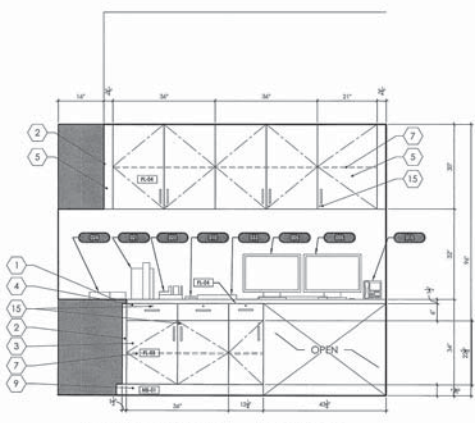


NOTE: ALL MILLWORK CABINETS AND DRAWERS IN WORK ROOM TO BE LOCKABLE

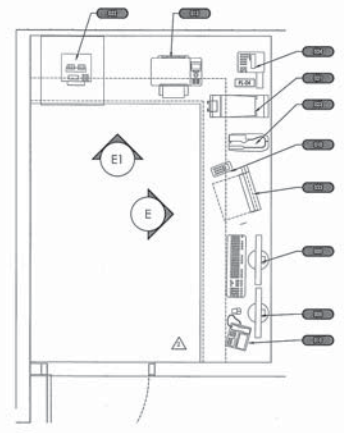
NOTE: REFER TO SHEET (M&E) FOR MISEAU-FINISH SCHEDULE



**E1 Work Room - Elevation**  
SCALE: 3/4" = 1'-0"

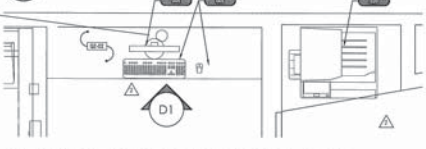


**E Work Room - Elevation**  
SCALE: 3/4" = 1'-0"



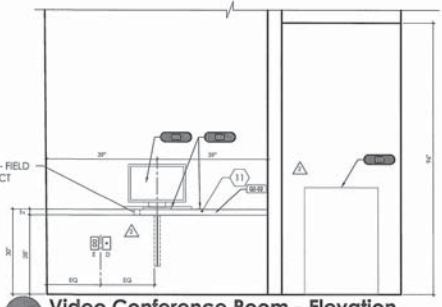
**E2 Work Room - Plan**  
SCALE: 3/4" = 1'-0"

GROMMET - FIELD  
VERIFY EXACT  
LOCATION



**D Video Conference Room - Plan**  
SCALE: 3/4" = 1'-0"

GROMMET - FIELD  
VERIFY EXACT  
LOCATION



**D1 Video Conference Room - Elevation**  
SCALE: 3/4" = 1'-0"

**General Millwork Notes**

- A. Millwork items to be custom grade, per specifications.
- B. Core construction materials shall be plywood or mdf, particle board is not permitted.
- C. All exposed exterior surfaces shall receive scheduled finish.
- D. All drawers and cabinet interiors shall be lined with BLACK aluminum as specified.
- E. All dimensions shall be field verified prior to fabrication.
- F. Ripping of fields to be verified with owner prior to installation.
- G. Refer to sheet (M&E) for finish information and equipment schedule.

**Key Notes**

1. Countertop: On wall surfaces apply 3/4" aluminum finish as specified, provide countertop; apply over (2) layers 3/4" plywood, finish as specified.
2. 3/4" millwork panels with p-lam finish, as specified, hidden hardware, as specified.
3. Drawers with p-lam finish on all exposed surfaces, provide hardware, as specified.
4. Drawers with 1/2" plywood with p-lam finish on all exposed surfaces, provide hardware, as specified.
5. Sinks cabinet with p-lam finish on all exposed surfaces, provide door pulls, as specified, and provide and panels, as required, finish materials, as specified.
6. Adjustable shelves, with finish on all exposed surfaces to match millwork.
7. All interior surfaces to be white melamine finish.
8. Bookcase back, as specified.
9. Countertop to finish attached to wall panel to match adjacent wall.
10. Rebar cracker support, 4x4, fully recessed, anchor to wall and counter per manufacturer's written instructions.
11. Back splash, finish to match countertop.
12. Felt drawer panels, with plastic laminate finish, as specified.
13. Doors with integral toe kick, for ADA access, provide plastic laminate finish, as specified.
14. Doors with integral toe kick, for ADA access, provide plastic laminate finish, as specified.
15. Locking mechanism, see hardware schedule.
16. 3/4" x 1/2" "d" for hidden door attachment to underside of counter.
17. 2" x 2" grommet hole, for cable management.
18. Recessed access panels, for access to power/data receptacles, provide locking mechanism, see hardware schedule.
19. 2" x 1/2" "d" all counter to grommet.
20. Airtight privacy screens, as specified, anchored to millwork panel with clips.
21. Mobility panel, p-lam finish per finish schedule.
22. Wall-mounted adjustable shelves.
23. 1/2" thick steel, with white melamine finish on all exposed surfaces.
24. PFD grommet hole, for trash receptacle below.
25. Improve finish with white melamine finish on all exposed surfaces, provide positioning capability mechanism, see hardware schedule.
26. Built in utility boxes for telephones, antennas, disposal slips, etc.
27. Full wall drawer with 3/4" thick panel bottom of equipment to top of front panel to be no larger than 1 3/4".
28. ADA height surface.
29. Front veneer of under counter area to match surrounding p-lam finish for this function.
30. Conceal this location see to have no visual access possible.
31. Full depth panel.
32. Full depth panel.
33. 3" tall cabinet with p-lam finish on all exposed surfaces, provide door pulls, as specified, and provide and panels, as required.

**Symbol Legend**

- Kevnute
- Finish Top



**AMERANT**  
1515 N.W. 87th Avenue, Miami Lakes, FL 33014  
**MIAMI LAKES**

187909-005

Issue date: 2018.10.31  
Drawn By: RJ  
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CLIENT UPDATES: 2019.02.22  
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BID SET

FOR REFERENCE ONLY

Millwork Details  
**IA223**



**FLOOR FINISHES**

CATEGORY	TAG	TYPE	MANUFACTURER	FAMILY / SERIES	PATTERN	COLOR	DIMENSIONS	INSTALLATION	LOCATION	NOTES	MANUFACTURER #	
C-01	C-01	Modular	Tanbus Ceramica	Asserthe Action	04837	Fusion 26217	18 x 36	Monolithic	Entry	Walk-off carpet	Porti Cruise   1.800.248.2676 x 1471	
	C-02	Modular	Show	Active	Advance Tile ST202	Strategy 04555	12 x 48	Monolithic	Throughout as shown in plan	General carpet	Joe Adams   402.821.4531	
	C-03	Modular	Marrington	Tracolon Avenue	Tread Hex	Stole 14723	12 x 48	Ashlar	Office, Conference Room	-	Marty Adams   480.540.4537	
LVT-01	LVT-01	Tile	Polkorah	Topography	Lithelena	Tab 02720	24 x 24	Ashlar	Square	ATM Room, Break Room	Sarah Slawny   480.374.8355	
	BDT-01	Tile	Static Smart	ESD Control Vinyl Tile	Summit	Roiker	12 x 12	Ashlar	IT Room	-	Michelle Chase   978.974.0820 x 21	
TILE	T-01	Porcelain	Daltile	Colorbody Porcelain	Formula	Equation Grey F419	24 x 48	Stack Bond	Mapel 02 Pewter	General tile	Light Polished Finish	Andrea Gathner   480.227.4378
	T-02	Porcelain	Daltile	Colorbody Porcelain	Formula	Autum Sher F4R4	24 x 48	Stack Bond	Mapel 11 Sahara Beige	Accept tile	Polished	Andrea Gathner   480.227.4378
	T-03	Porcelain	Daltile	Colorbody Porcelain	Formula	Autum Sher F4R4	12 x 24	Stack Bond	Mapel 11 Sahara Beige	Bedrooms Rear	Unpolished	Andrea Gathner   480.227.4378
TRANSPO	TAG	TYPE	MANUFACTURER	FAMILY / SERIES	MODEL	COLOR	DIMENSIONS	CORNER	LOCATION	NOTES	MANUFACTURER #	
MT-01	MT-01	Metals	Schuler	Floor Profile	Schiene	Satin Anodized	3/8"	Mitered	Apply where carpet & tile meet	-	Brian Motter   602.676.4673	

**WALL FINISHES**

GRADE	THICKNESS	TYPE	MANUFACTURER	LUBRANT	FINISH COLOR	FINISH GRADE	APPLICATION	FINISH LOCATION	ITEM	LOCATION	NOTES	MANUFACTURER #	
GA-01	1/2"	Board	Diversified Wallcovering	Prosted	Pantone 425U	40%	Exterior Only	From Exterior	Double Cut	All full-height glazing	Apply graphic prior to door hardware installation.	Cindy Fong   602.625.6147	
GA-02	1/2"	Graphic	Diversified Wallcovering	Opaque	Pantone 164C	100%	Exterior Only	From Exterior	Double Cut	As indicated on elevations and plan	-	Cindy Fong   602.625.6147	
PART	F-01	Lotex	Shervin Williams	N/A	SW to match DEW392	SW to match DEW392	Cashmere Low Lustre	Level 4	TBD	General Paint	Match DEW392 Crystal Bell	Christopher Cook   602.220.4944	
	F-02	Lotex	Shervin Williams	N/A	N/A	Pantone 541C	Cashmere Low Lustre	Level 4	TBD	Accent Paint	Custom	Christopher Cook   602.220.4944	
	F-03	Lotex	Shervin Williams	N/A	N/A	Pantone 164C	Cashmere Low Lustre	Level 4	TBD	Accent Paint	Custom	Christopher Cook   602.220.4944	
ROLLER SHADE	TAG	MANUFACTURER	FAMILY / SERIES	FABRIC	COLOR	LENGTH	FASCIA	OPENNESS	OPERATION	MOUNTING	LOCATION	NOTES	MANUFACTURER #
RS-01	RS-01	Mecho Systems	EuroTwin	Reversible	6488 White Stone	Refer to wall finish plan	Grey	3%	Motorized	Mecho 5	Throughout as shown on plan	6450 series number	Kathleen Powers   480.456.8769
SPECIALTY	SP-01	Acoustic Felt	Acoufelt	N/A	N/A	Solid Grey, Grey5D	4 x 8.5	Eased	N/A	Conference Room	Refer to interior elevations	Amy Dufrene   adufrene@ac-co.com	
	SP-02	Acoustic Tile	Unika Voer	Ecologic	Matix	Light Grey	19.2 x 19.7	Eased	N/A	By service spots	Refer to interior elevations	Dan Lynn   480.484.1400	
	SP-06	Spangoo	GraphFlex Spangoo	N/A	N/A	Pantone 164C	Refer to interior elevations	Refer to interior elevations	N/A	Niche	Refer to interior elevations	GraphFlex Spangoo   954.549.5544	
TILE	T-06	Porcelain	Daltile	Gleazed Ceramic	Multitude Wave	Urban Grey M018	12 x 24	Stack Bond	Mapel 11 Sahara Beige	Restroom walls	Flat finish, csp file w/ TR-03	Andrea Gathner   480.227.4378	
	T-06	Porcelain	Daltile	Gleazed Ceramic	Multitude Wave	Nostalgic Blue M019	12 x 24	Stack Bond	Mapel 11 Sahara Beige	Restroom walls	Flat finish, csp file w/ TR-03	Andrea Gathner   480.227.4378	
	T-06	Porcelain	Daltile	Gleazed Ceramic	Multitude Wave	Nostalgic Blue M019	12 x 24	Stack Bond	Mapel 11 Sahara Beige	Restroom walls	Flat finish, csp file w/ TR-03	Andrea Gathner   480.227.4378	
TRANSPO	TAG	TYPE	MANUFACTURER	FAMILY / SERIES	MODEL	COLOR	DIMENSIONS	CORNER	LOCATION	NOTES	MANUFACTURER #		
MT-02	MT-02	Metals	Schuler	Wall Profile	Job	Satin Nickel Anodized	3/8"	Mitered	Restrooms	Apply of exposed edges of tile as end caps	Brian Motter   602.676.4673		
MT-03	MT-03	Metals	Schuler	Cove-shaped profile	Dlex AMC Cove Base	Satin Nickel Anodized	3/8"	Mitered	Restrooms	Apply of exposed edges of tile as end caps	Brian Motter   602.676.4673		
WALLBASE	WB-01	Rubber	Johnsonite	Milwork	Reveal	TAG Bedrock	4.25"	Mitered	Use with P-03	Restrooms	Wall base for P-01	Porti Cruise   800.248.2676	
	WB-04	Rubber	Johnsonite	Perceptics	Reveal	TAG Bedrock	4.25"	Mitered	Use with P-03	Breakroom, Storage & ATM Room	Wall base for P-01	Porti Cruise   800.248.2676	
	WB-06	Rubber	Johnsonite	Milwork	Reveal	62 Tangerine Tango	4.25"	Mitered	Use with P-03	Breakroom, Storage & ATM Room	Wallbase for P-03	Porti Cruise   800.248.2676	

**CEILING FINISHES**

FACT	TAG	TYPE	MANUFACTURER	FAMILY / SERIES	PATTERN	COLOR	DIMENSIONS	EDGE DETAIL	SUSPENSION	LOCATION	NOTES	MANUFACTURER #
ACT-01	ACT-01	Tile	CertainTeed	Sand Milano Customline	N/A	White	24 x 24	N/A	N/A	As shown on plan	Refer to architectural ceiling plans, details & specifications	CertainTeed   800.782.8777
ACT-02	ACT-02	Tile	CertainTeed	Sand Milano Customline	N/A	White	24 x 24	N/A	N/A	As shown on plan	Refer to architectural ceiling plans, details & specifications	CertainTeed   800.782.8777
PART	F-01	Lotex	Shervin Williams	N/A	SW to match DEW392	SW to match DEW392	Cashmere Low Lustre	Level 4	TBD	General Paint	Match DEW392 Crystal Bell	Christopher Cook   602.220.4944

**DECORATIVE LIGHTING**

QTY	TAG	TYPE	QTY	MANUFACTURER	MODEL	COLOR TEMPERATURE	MOUNTING HEIGHT	LOCATION	NOTES	MANUFACTURER #	
1	L-01	Van Lighting	1	Van Lighting	Cosello	3000 Kelvin	9'-0" to 9'-6"	Recessed	Conference Room	Install as shown on plan	Robin Goetz   480.242.5355
1	L-01	Refer to RCP/ Lighting quote for linear lighting	1	Van Lighting	IA	3000 Kelvin	N/A	Recessed	Throughout as shown on plan	Install as shown on plan	Robin Goetz   480.242.5355

**FURNITURE**

QTY	ITEM	TAG	TYPE	QTY	MANUFACTURER	MODEL	POWER REQ'D	GRADE INFO	LOCATION	NOTES	MANUFACTURER #
4	CH-03	Arm Chair	4	OPS	Modello Arm Chair 103337	N	N	Goodmans	Comfort Zone	-	Aphley Molbeck   480.285.5897
2	CH-04	Armless Chair	2	OPS	Modello Armless Chair 103338	N	N	Goodmans	Waiting Room	-	Aphley Molbeck   480.285.5897
2	CH-05	Counter Stool	2	OPS	Modello Counter Stool 103339	N	N	Goodmans	Service Spot, Discover Bar	-	Aphley Molbeck   480.285.5897
2	CH-06	Bar Stool	2	OPS	Modello Bar Stool 103338	N	N	Goodmans	Discover Bar	-	Aphley Molbeck   480.285.5897
7	CH-08	Task Chair	7	Y to S Seating	Accolam Highback	N	N	Forward TB	Office, Conference Room	-	Carolin Chaney   480.237.3737
2	CH-09	Task Stool	2	Y to S Seating	Alio Midback	N	N	Forward TB	Service Spots	-	Carolin Chaney   480.237.3737
2	CH-10	Chair	2	Y to S Seating	Eley	N	N	Forward TB	Breakroom	-	Carolin Chaney   480.237.3737
1	CH-11	Task Chair	1	Y to S Seating	Alio	N	N	Forward TB	Work Room	-	Carolin Chaney   480.237.3737
2	TR-01	Side Table	2	Bernhardt Design	CP-3 GP21	N	N	Goodmans	Comfort Zone	-	Aphley Molbeck   480.285.5897
1	TR-03	Conference Table	1	National Office Furniture	Footings	Y	N	Goodmans	Conference Room	S Round	Aphley Molbeck   480.285.5897
1	CS-01	Desk	1	National Office Furniture	Waveworks	Y	N	Goodmans	Office	-	Aphley Molbeck   480.285.5897



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**AMERANT**  
 187909-005

5151 N.W. 57th Avenue, Miami Lakes, FL 33004

**MIAMI LAKES**

Issue date: 2018.10.31  
 Drawn By: AS  
 Checked By: KB  
**revisions**

CLIENT UPDATES: 2018.02.22  
 COORDINATION: 2018.01.28

**BID SET**

FOR REFERENCE ONLY

1A600

**MILLWORK FINISHES**

LAMINATE	TAG	TYPE	MANUFACTURER	FAMILY/SERIES	PATTERN	COLOR	DIMENSIONS	EDGE DETAIL	FINISH	LOCATION	NOTES	MANUFACTURER REF
	PL-01	HPCC	Fornica	ColorCore2	New White	722C-90	4' x 10'	Eased	Gloss	Teller Tower, Service Spots, Rex Office	-	Wendy Steik   720.626.6353
	PL-02	CPL	Wilsonart	Premium Laminate	7945B-12	Walnut Heights	4' x 8'	Eased	Soft Grain	Teller Tower, Service Spots, Discover Bar, Millwork	-	Debbie Dammen   877.708.4095
	PL-03	HPL	Fornica	MicroDot Collection	1097	Chandel	4' x 8'	Eased	N/A	Back of house	-	Wendy Steik   720.626.6353
	PL-04	HPL	Arborite	N/A	Organic Twill	P380	4' x 10'	Eased	N/A	Back of house	-	Debbie Dammen   877.708.4095
MILLWORK CASE	TAG	TYPE <td>MANUFACTURER</td> <td>FAMILY/SERIES</td> <td>PATTERN</td> <td>COLOR</td> <td>DIMENSIONS</td> <td>EDGE DETAIL <td>FINISH</td> <td>LOCATION</td> <td>NOTES</td> <td>MANUFACTURER REF</td> </td>	MANUFACTURER	FAMILY/SERIES	PATTERN	COLOR	DIMENSIONS	EDGE DETAIL <td>FINISH</td> <td>LOCATION</td> <td>NOTES</td> <td>MANUFACTURER REF</td>	FINISH	LOCATION	NOTES	MANUFACTURER REF
	MB-01	Metal Laminate	Wilsonart	Decorative Metals	6202-419	Satin Brushed Nickel	4' x 8'	Eased	-	Apply to millwork as noted	-	Debbie Dammen   800.921.9906
QUART	TAG	TYPE <td>MANUFACTURER</td> <td>FAMILY/SERIES</td> <td>PATTERN</td> <td>COLOR</td> <td>DIMENSIONS</td> <td>EDGE DETAIL <td>FINISH</td> <td>LOCATION</td> <td>NOTES</td> <td>MANUFACTURER REF</td> </td>	MANUFACTURER	FAMILY/SERIES	PATTERN	COLOR	DIMENSIONS	EDGE DETAIL <td>FINISH</td> <td>LOCATION</td> <td>NOTES</td> <td>MANUFACTURER REF</td>	FINISH	LOCATION	NOTES	MANUFACTURER REF
	QT-02	Slab	Stone	Eternal	N/A	Catocafta Gold	55' x 120'	Eased	Polished	Front of house millwork	-	Tim Siskman   480.763.9400

**PLUMBING FIXTURES**

TAG	MARK	TAG	MARK
187909-005	Model: Home Digital Mirror	187909-005	Model: 8-03P
	Manufacturer: Delta Faucet		Manufacturer: Delta
	Dimensions: 20" x 20" x 7 1/2"		Model: Carfax
	Flow: 1.2 GPM @ 20 PSI		Mounting: Recession
	Color: Chrome		Color: Stainless Steel
	Length: 23 1/2" (20" H x 3 1/2" W)		Dimensions: 12 3/4" x 4 1/2" x 3 1/2"
	Clear Height: 20" (20" H)		Height Opening: 11 3/4" (11" H x 3 1/2" W)
	CM: 85		Mounting Height: 32 1/2" (32" H x 32" W x 1 1/2" D)
	Location: 10' x 10' x 10' mirror		Location: Bedroom
	Location: Bedroom		Qty: 2
	Qty: 2		



187909-005  
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187909-005

**AMERANT**  
 187909-005  
 187909-005  
**MIAMI LAKES**

187909-005

Issue date	Drawn By	Checked By
2018.10.31	AS	KB

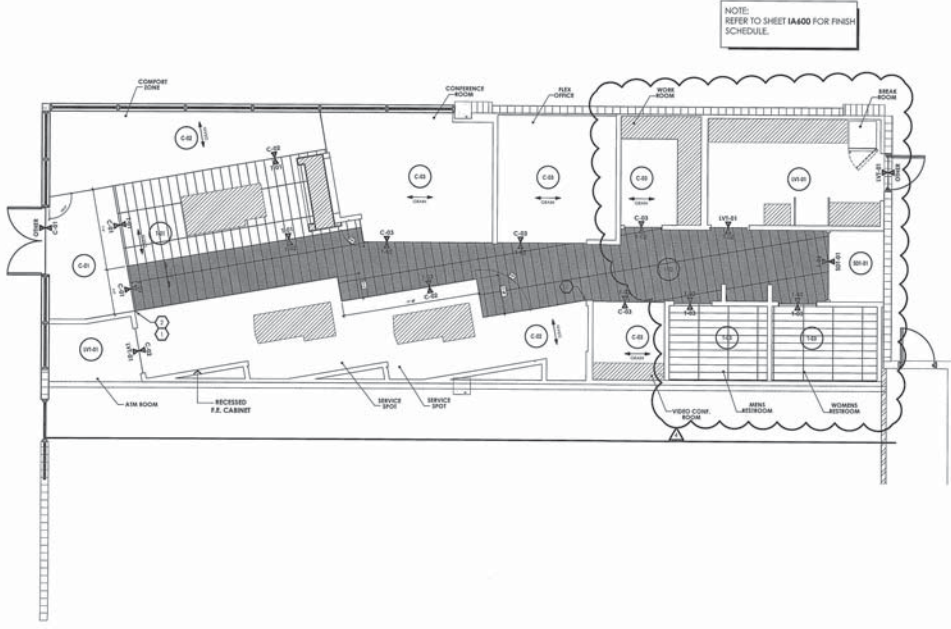
**revisions**

REVISION	DATE
△ CITY COMMENTS	2019.03.26
△ CLIENT UPDATES	2019.03.22
△ COORDINATION	2019.01.28

**BID SET**

FOR REFERENCE ONLY

Schedule  
**IA601**



**01 Floor Finish Plan**  
SCALE: 1/4" = 1'-0"

**General Notes**

1. U.C. will be making site conditions for moisture content prior to subfloor prep. For new construction, G.C. will conduct moisture testing to ensure concrete slabs meet acceptable levels and moisture content is within acceptable levels for installation of specified flooring. Refer to manufacturer's installation instructions for specific tolerances for slab preparation.
2. G.C. to patch, repair, and prep subfloor as required to ensure surface is level and protected from moisture penetrating the slab. G.C. to ball walls of dimensions prior to commencement of work.
3. Where two (2) flooring materials meet, provide transition strip as specified in S.A. Provide a smooth and gentle slope to meet ADA compliance of transition floor to make flush. Any transition panel from 1/4" shall be finished with a slope no greater than 1/2" over 10' and be compliant with a maximum slope of 1:12.
4. Fasteners from 1/4" to 1/2" with cover plates M2-M5.
5. Apply transition strip unless called out to the note.
6. Where two (2) flooring materials meet at doorways, transition to occur in center of door threshold.
7. When a floor material does not abut another or terminate into a wall, exposed edges shall be finished with the appropriate edge protection film.
8. Where a floor material abuts or terminates into masonry, G.C. to ensure that joints are tight and no portion of the subfloor and/or underlayment is visible.
9. All transition strips will be installed at corners.
10. Refer to plan for floor slab finish locations. When no origin points is specified, center of floor requires shall be centered in the room in both directions.
11. Refer to specifications pages for additional information for all floor finish materials included in the drawing.
12. Reference manufacturer's website for changes & updates to the specifications.
13. Refer to the floor finish schedule sheet IA800 for specifications.
14. Should site/working field conditions differ from plans as shown, the G.C. and its subcontractors are required to notify the design team IMMEDIATELY to discuss any discrepancy discovered onsite.

**Key Notes**

1. Align floor transition with face of wall.
2. Terminate floor transition at corner.

**Symbol Legend**



**Graphic Legend**



**AMERANT**  
1001 North Dixie Avenue, Miami Lakes, FL 33014  
**MIAMI LAKES**

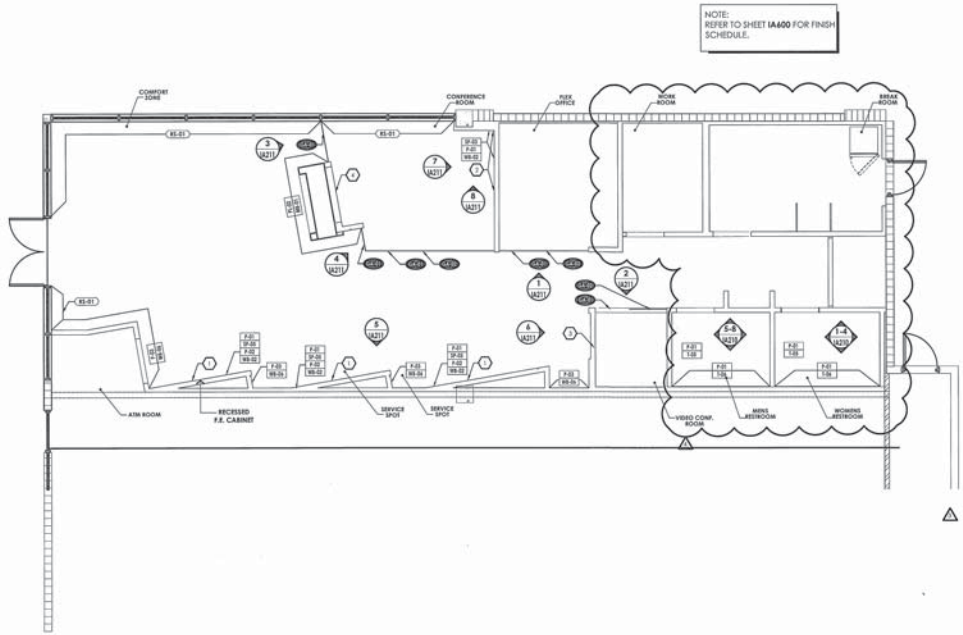
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△ CLIENT UPDATES	2019-02-27
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**BID SET**

**FOR REFERENCE ONLY**

Floor Finish Plan  
**IA800**



01 Wall Finish Plan  
SCALE: 1/4" = 1'-0"

**General Notes**

- G.C. to meet with all subcontractors prior to commencement of work.
- All wall finish materials to be installed per manufacturer's installation instructions. They will be necessary prior to installation.
- All walls to receive general wall panel P-01 from floor to ceiling, corner to corner u.v.a.
- Where two (2) panel colors meet, transition to occur in inside corner.
- When a wall finish material does not allow another or terminate into a wall, record a sign that to be noted with the appropriate finish transition line.
- All transition strips will be installed at corners.
- Wall panel MB-02 to be provided with general panel P-01 and throughout u.v.a.
- Head above wall finish MB-04 to be provided in all non-head facing areas u.v.a.
- Walls finished with embedded or tightly unseal surfaces such as brick, block masonry, stone, stone veneer, etc., use MB-02 to receive wall base of any type.
- All window wall to be installed 3 feet AFF u.v.a., and capped with wall panel MB-02 u.v.a.
- Header finish MB-05 to be installed using perimeter window air down, in frame, with care for manual operation, G.C. to field finish transition prior to installing wall finish.
- Refer to wall elevations for the origin location.
- Refer to specifications page for additional information for all wall finishes indicated in this drawing.
- Reference manufacturer's website for changes & updates to the specifications.
- Refer to the wall finish schedule sheet IA800 for specifications.
- Should scheduling/field conditions differ from plan as shown, the G.C. and its subcontractors are required to contact the design team IMMEDIATELY to discuss any discrepancy discovered onsite.

**QUALITY GRAPHIC**

- Vendor shall meet G.C. of substrate requirements to ensure successful installation of any wall finish material.
- Vendor is responsible for reporting construction conditions and G.C. is required to correct said conditions. Failure to do so will be considered an acceptance and approval of the substrate.
- Vendor is responsible for obtaining field measurements and report any existing conditions that may interfere with the design, if not possible, the G.C. will be responsible for obtaining the information for the fabrication.
- Vendor is required to submit mock-ups to DSD Design for review and to the G.C. for approval, without which, production cannot be started.
- G.C. to ensure all wall surfaces intended for graphic wall art receive a clean, undamaged finish to ceiling, corner to corner u.v.a.
- No substitutions allowed.
- Refer to interior elevations for graphic locations and heights.

**Key Notes**

- Wall construct the SP-02 to receive P-02 on niche surroundings, refer to interior elevations sheet IA811 for wall accents, the SP-02 installation.
- Refer to interior elevations sheet IA811 for acoustic, full SP-02 installation.
- Niche with "Acoustic" tag to receive panel P-01 on back of niche, and P-02 on niche surroundings. Refer to interior elevations sheet IA811 for dimensions.
- Refer to subwork sheet IA820 for finish information.

**Symbol Legend**

	Keynote		Room Shade Tag
	Room Name		Glass/Wall Graphic Tag
	Room Size		Wall Finish
	Graphic Description		Wall Base
	Elevation Tag		

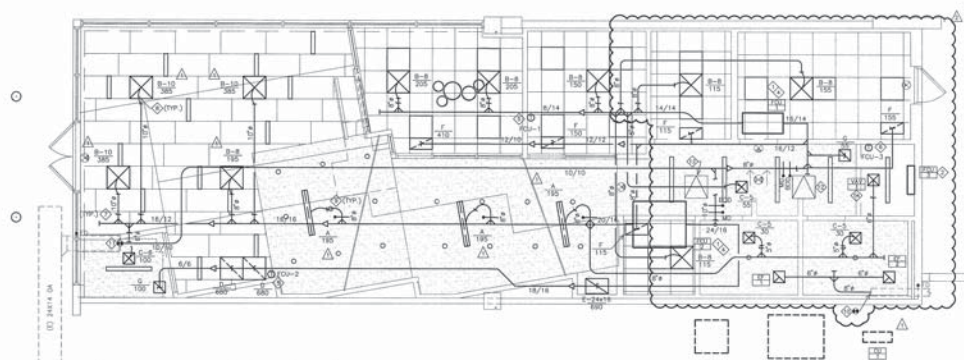


**AMERANT**  
1501 North Dixie Avenue, Miami Lakes, FL 33014  
**MIAMI LAKES**  
PROJECT NO. 187909-005

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	CLIENT UPDATES 2019.02.22
	COORDINATION 2019.01.28
<b>BID SET</b>	

**FOR REFERENCE ONLY**

Wall Finish Plan  
**IA810**



**MECHANICAL SYMBOLS LEGEND**

	SUPPLY AIR
	RETURN AIR
	EXHAUST AIR
	FLEXIBLE DUCT
	TURNING VANES
	MANUAL VOLUME DAMPER
	BACKDRAFT DAMPER
	MOTORIZED DAMPER
	FIRE DAMPER & ACCESS PANEL
	SUPPLY DUCT UP, POSITIVE PRESSURE
	RETURN DUCT UP, NEGATIVE PRESSURE
	EXHAUST DUCT UP, NEGATIVE PRESSURE
	SUPPLY DUCT DOWN, POSITIVE PRESSURE
	RETURN DUCT DOWN, NEGATIVE PRESSURE
	EXHAUST DUCT DOWN, NEGATIVE PRESSURE
	FLEXIBLE DUCTWORK CONNECTION TO UNIT
	SUPPLY DIFFUSER/REGISTERS BLAUHOFF INDICATED SHADED
	LINEAR SLOT DIFFUSER
	RETURN GRILLE/REGISTERS
	EXHAUST GRILLE/REGISTERS
	ECCENTRIC DUCT TRANSITION
	SMOKE DETECTOR
	THERMOSTAT
	CO2 SENSOR
	TEMPERATURE SENSOR
	POINT OF DISCONNECTION
	EXISTING DUCT TO REMAIN
	EXISTING DUCT TO BE REMOVED

**GENERAL NOTES:**

- INSTALL VOLUME DAMPER IN DUCT TAKE-OFF TO EACH DIFFUSER, GRILLE, AND REGISTER.
- ALL DUCT DIMENSIONS ARE CLEAR INSIDE DIMENSIONS. CONTRACTOR SHALL, AT THEIR OPTION, REPLACE RECTANGULAR DUCTWORK SHOWN WITH ROUND, SPIRAL, DUCT OF EQUIVALENT CAPACITY.
- IN GENERAL, ALL PIPING AND DUCTWORK SHALL BE RUN CONCEALED IN SUSPENDED CEILING SPACES AND IN SHIFTS PROVIDED UNLESS NOTED OR INDICATED OTHERWISE.
- VERIFY ALL DUCT CONNECTION SIZES TO FANS, COILS, AND EXISTING DUCTWORK.
- COOPERATE WITH THE OTHER TRADES TO ELIMINATE ANY CONFLICTS BETWEEN PIPING, DUCTWORK, STRUCTURAL, ELECTRICAL, WORK, ETC.
- DIFFUSER, REGISTER, AND SPRINKLER HEAD LOCATIONS SHALL BE COORDINATED WITH CEILING PATTERNS AS SHOWN ON ARCHITECTURAL INDICATED CEILING PLANS.
- ALL SQUARE DIFFUSERS SHALL HAVE THE AIR VOLUME EQUALLY IN FOUR DIRECTIONS UNLESS INDICATED OTHERWISE.
- MECHANICAL CONTRACTOR TO VERIFY RANGES OF ALL WALLS WITH ARCHITECTURAL DRAWINGS. SEAL PIPE PENETRATIONS TO MATCH THE WALL RANGE. PROVIDE ALL SUPPLY AND RETURN DUCTS PASSING THROUGH FIRE RATED WALLS WITH APPROVED FIRE DAMPERS.
- ROUND TO DIFFUSERS SHALL BE THE SAME SIZE AS THE DIFFUSERS NECK SIZE.
- TENANT'S CONTRACTORS SHALL VERIFY WITH HVAC PLAN TO CORROBORATE THE REQUIREMENT OF ALUMINUM WATER TIGHT PIPING, WIRING, ETC. FAILURE TO DO SO COULD RESULT IN THE REMOVAL AND REPLACEMENT OF THESE ITEMS AT NO ADDITIONAL COST TO THE TENANT - NO PVC PIPING ALLOWED IN FLECKING.
- CONTRACTOR SHALL IDENTIFY TENANT NAME AND SPACE NUMBER ON UNIT.
- THE TENANT'S MECHANICAL CONTRACTOR SHALL GO TO THE SITE AND VERIFY THE SIZE, DESIGN, SUPPORT, AND LOCATION FOR ALL EXISTING AND FUTURE MECHANICAL EQUIPMENT AND UTILITIES PRIOR TO ANY EQUIPMENT ORDERING, WORK, DUCTWORK FABRICATION ETC. NOTIFY THE TENANT'S PROJECT MANAGER OR PROJECT ENGINEER IMMEDIATELY WITH ANY DISCREPANCIES. FAILURE TO DO SO COULD RESULT IN EQUIPMENT AND/OR MATERIALS REPLACEMENT AT NO ADDITIONAL EXPENSE TO THE TENANT.
- ALL EQUIPMENT, INSTALLATIONS, AND MATERIALS SHALL COMPLY WITH ALL APPLICABLE LOCAL CODES AND LANDLORD CRITERIA. DO NOT ABANDON.
- REMOVE ALL UNUSED PIPING, DUCTWORK, AND ACCESSORIES - DO NOT ABANDON.
- VERIFY LOCATION OF ANY PENETRATION THRU ROOF WITH LANDLORD. ALL ROOF PENETRATIONS, PATCHING, AND FLASHING SHALL BE BY LANDLORD'S ROOFER AT MECHANICAL CONTRACTOR EXPENSE.
- PRIOR TO OCCUPANCY OF THE PREMISES, GENERAL CONTRACTOR IS REQUIRED TO PROVIDE AN AIR BALANCE REPORT. A WALL APPROVED, METROLOGIC CERTIFIED AIR-BALANCE COMPANY MUST FURNISH THE TEST REPORT. PROVIDE COPY TO WALL OPERATIONS DIRECTOR.

**KEY NOTES:**

- NEW SPLIT SYSTEM FAN COIL UNIT (FCU) HANG FROM STRUCTURE ABOVE WITH UNIFORM LOCATIONS. VERIFY EXACT LOCATION IN FIELD. LOCATION OR GRANGES IS APPROXIMATE ONLY - SEE SCHEDULE FOR BALANCING DETAILS. PROVIDE WALL 2" GIBB SECONDARY DRAIN PAN AND FLEXIBLE DUCT CONNECTION TO UNIT.
- NEW SPLIT SYSTEM FAN COIL UNIT (FCU-1) ON WALL. VERIFY EXACT LOCATION IN FIELD. LOCATION OR GRANGES IS APPROXIMATE ONLY. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. ROUTE 3/4" CONDENSATE PIPING TO WHP SINK.
- NEW HEAT PUMP ON ROOF ABOVE - PROVIDE LANDLORD APPROVED ROOF MOUNTING SYSTEM. EXTEND REFRIGERANT PIPING THRU ROOF TO NEW FCU - INSTALL PER MANUFACTURER'S RECOMMENDATIONS. COORDINATE EXACT LOCATION OF HEAT PUMP WITH LANDLORD FIELD REPRESENTATIVE PRIOR TO BID.
- ROUTE 1" CONDENSATE PIPE 1/2" MIN. 2" DEEP P-TRAP AND 1" SECONDARY DRAIN PIPE TO DRAINAGE PROVIDED CONDENSATE PIPING. PROVIDE ALL FITTINGS PER LOCAL CODES AND LANDLORD REQUIREMENTS. VERIFY ROUTING AND LOCATION ON SITE.
- PROVIDE NEW 2-DAY PROGRAMMABLE THERMOSTAT FOR RTU CONTROL MOUNTED 4'-0" AFF. THERMOSTAT SHALL HAVE AUTOMATIC NIGHT SET-BACK WITH 2°F DRAINING, 2-HOUR OCCUPANT OVERRIDE, AND MIN. 10-HOUR BATTERY BACKUP.
- PROVIDE NEW WIRING THERMOSTAT FOR WHP SPLIT SYSTEM CONTROL. MOUNTED 4'-0" AFF.
- INSTALL NEW SPRINKLER TAKE OFF IN SUPPLY AIR DUCTWORK. PROVIDE MANUAL VOLUME DAMPER (TYPICAL FOR ALL).
- ROUTE EXIST 5'-0" MAX LENGTH TYPICAL FOR ALL.
- PROVIDE REMOTE CABLE VOLUME DAMPER. REFER TO DETAIL 2/NO.
- EXHAUST FAN WITH INTEGRAL BACK DRAFT DAMPER PRODUCED BY GENERAL CONTRACTOR. MECHANICAL CONTRACTOR TO CONNECT 6" DIA. DUCT FROM THE EXHAUST FAN TO 8" DIA. DUCT AND CONNECT 8" DIA. DUCT TO LANDLORD PROVIDED TOILET EXHAUST MAIN DUCT. VERIFY SIZE, ROUTING AND LOCATION ON SITE.
- EXTEND NEW 10" DIA. OUTSIDE AIR DUCT AND CONNECT TO EXISTING UNLESSY PROVIDED ON DUCT. VERIFY SIZE, ROUTING AND LOCATION ON SITE. PROVIDE BALANCING, MOTORIZED AND BACKDRAFT DAMPER AT EACH UNIT.
- PROVIDE 24X24 ACCESS PANEL FOR FCU-2 SERVICE ACCESS. COORDINATE EXACT LOCATION WITH ARCHITECT.
- NEW CONDENSATE UNIT (COU-1) ON ROOF ABOVE - PROVIDE LANDLORD APPROVED ROOF MOUNTING SYSTEM. EXTEND REFRIGERANT PIPING TO NEW FCU-3. VERIFY EXACT LOCATION IN FIELD. LOCATION OR GRANGES IS APPROXIMATE ONLY. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
- PROVIDE NEW VAV DIFFUSER IN CEILING. VAV DIFFUSER TO BE COOLING ONLY NO HEAT TYPE.



1790 West Atlantic Blvd., Coral Gables, FL 33134  
P: 305.441.7233 | www.dbsi.com

RSP Architects  
1200 MacArthur Drive SW  
Bloomington, MN 55105-1000  
612.877.7700  
www.rsparch.com

**AMERANT**  
19151 NW 67TH AVENUE, MIAMI LAKES, FL 33094

2912.036.00

Issue date	11/26/18
Drawn By:	JPK
Checked By:	GMS
revisions	
PLAN REVIEW RESPONSE 02/26/19	
PLAN REVIEW RESPONSE 04/03/19	



4/3/19  
HVAC PLAN  
**M1**

**DUNHAM**  
10 South Bay Street, Suite 100  
Coral Gables, Florida 33134  
Tel: 305.441.7233  
Fax: 305.441.7234  
www.dunham.com



MDC Permit #  
2019039324

Ev1814@gmail.com

**NOTE: ALL SHEETS MUST BE REVIEWED**  
 MIAMI-DADE COUNTY DEPARTMENT OF REGULATORY AND ECONOMIC RESOURCES  
 Herbert S. Saffir Permitting and Inspection Center  
 11805 SW 26th Street (Coral Way) • Miami, Florida 33175-2474 • (786) 315-2000

**APPLICATION FOR MUNICIPAL PERMIT APPLICANTS  
 THAT REQUIRE PLAN REVIEW FROM MIAMI-DADE FIRE RESCUE  
 AND/OR ENVIRONMENTAL SERVICES**

m2019011364

3219011364

County Permit #2019.039324

PROVIDE MUNICIPAL PROCESS NUMBER HERE			
LOCATION OF IMPROVEMENTS	Job Address <u>15151 NW 67th Ave</u>		CONTRACTOR INFORMATION
	Folio _____		
TYPE OF IMPROVEMENTS	<input type="checkbox"/> New Construction on Vacant Land <input checked="" type="checkbox"/> Alteration Interior <input type="checkbox"/> Alteration Exterior <input type="checkbox"/> Relocation of Structure <input type="checkbox"/> Enclosure <input type="checkbox"/> Repair <input type="checkbox"/> Repair Due to Fire		Contractor No. <u>TBD</u> Last four (4) digits of Qualifier No. _____ Contractor Name _____ Qualifier Name _____ Address _____ City _____ State _____ Zip _____
	<input type="checkbox"/> Demolish <input type="checkbox"/> Shell Only <input type="checkbox"/> Addition Attached <input type="checkbox"/> Addition Detached <input type="checkbox"/> Re-Roof <input type="checkbox"/> Foundation Only <input type="checkbox"/> Tent		
PERMIT TYPE	REVIEW STATUS	<input checked="" type="checkbox"/> MBLD* Category <u>01</u> <input type="checkbox"/> MELE <input type="checkbox"/> MPLU <input type="checkbox"/> MLPG <input type="checkbox"/> MMEC <input type="checkbox"/> FIRE	OWNER'S NAME
PERSON TO PICK UP PLANS	Name <u>Evelyn Capos</u> Address <u>3540 SW 95 Ave</u> City <u>Miami</u> State <u>FL</u> Zip <u>33165</u> Phone <u>305-408-4286</u>		ARCHITECT / ENGINEER
	Current use of property _____ Description of Work <u>interior build out for bank - add 2 bathroom</u> Sq. Ft. <u>150</u> Units _____ Floors _____ Value of Work <u>5,000</u>		
FIRE SPECIAL REQUEST PLAN REVIEW (SRI)	<i>I am requesting a Special Request Plan Review (SRI) to be scheduled as soon as possible. There is a minimum charge of one-hour. Please contact the Fire Department for current rate.</i>		
	1st Request: _____	Date: _____	
	2nd Request: _____	Date: _____	
OPTIONAL PLAN REVIEW (OPR)	<i>I am requesting Optional Plan Review (OPR) to be scheduled as soon as possible at the rate of \$75 for each discipline. Additional review fees may apply.</i>		
	3rd Request: _____	Date: _____	
	_____	Date: _____	

Miami Dade County Department of Regulatory and Economic Resources - Job Copy

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MDC Permit Application.pdf

SECTION 1500 - MECHANICAL

SECTION 1501 - BASIC MECHANICAL REQUIREMENTS

A. GENERAL CONDITIONS

- 1. DRAWINGS AND GENERAL REQUIREMENTS... 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF WORK... 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF WORK...

B. GENERAL REQUIREMENTS

- 1. THE CONTRACTOR SHALL PROVIDE... 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF WORK... 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF WORK...

C. GENERAL NOTES

- 1. ALL WORK SHALL CONFORM TO THE LANDOWNER'S CRITERIA... 2. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY PERMITS...

SECTION 1504 - LEAKS, PENETS, INSPECTIONS & TESTS

A. GENERAL

- 1. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY PERMITS... 2. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY PERMITS...

B. LEAKS

- 1. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY PERMITS... 2. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY PERMITS...

C. PENETS

- 1. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY PERMITS... 2. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY PERMITS...

D. INSPECTIONS & TESTS

- 1. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY PERMITS... 2. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY PERMITS...

SECTION 1509 EXHAUSTION

A. GENERAL

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF WORK... 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF WORK...

B. GENERAL REQUIREMENTS

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF WORK... 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF WORK...

C. GENERAL NOTES

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF WORK... 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF WORK...

SECTION 1540 - PLUMBING

A. GENERAL

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF WORK... 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF WORK...

B. GENERAL REQUIREMENTS

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF WORK... 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF WORK...

C. GENERAL NOTES

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF WORK... 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF WORK...

SECTION 1545 - PLUMBING

A. GENERAL

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF WORK... 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF WORK...

B. GENERAL REQUIREMENTS

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF WORK... 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF WORK...

C. GENERAL NOTES

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF WORK... 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF WORK...

SECTION 1550 - PLUMBING

A. GENERAL

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF WORK... 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF WORK...

B. GENERAL REQUIREMENTS

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF WORK... 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF WORK...

C. GENERAL NOTES

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF WORK... 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF WORK...

SECTION 1555 - PLUMBING

A. GENERAL

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF WORK... 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF WORK...

B. GENERAL REQUIREMENTS

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF WORK... 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF WORK...

C. GENERAL NOTES

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF WORK... 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF WORK...

SECTION 1560 - PLUMBING

A. GENERAL

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF WORK... 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF WORK...

B. GENERAL REQUIREMENTS

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF WORK... 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF WORK...

C. GENERAL NOTES

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF WORK... 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF WORK...

SECTION 1565 - PLUMBING

A. GENERAL

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF WORK... 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF WORK...

B. GENERAL REQUIREMENTS

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF WORK... 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF WORK...

C. GENERAL NOTES

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF WORK... 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF WORK...

SECTION 1570 - PLUMBING

A. GENERAL

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF WORK... 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF WORK...

B. GENERAL REQUIREMENTS

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF WORK... 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF WORK...

C. GENERAL NOTES

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF WORK... 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF WORK...

SECTION 1575 - PLUMBING

A. GENERAL

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF WORK... 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF WORK...

B. GENERAL REQUIREMENTS

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF WORK... 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF WORK...

C. GENERAL NOTES

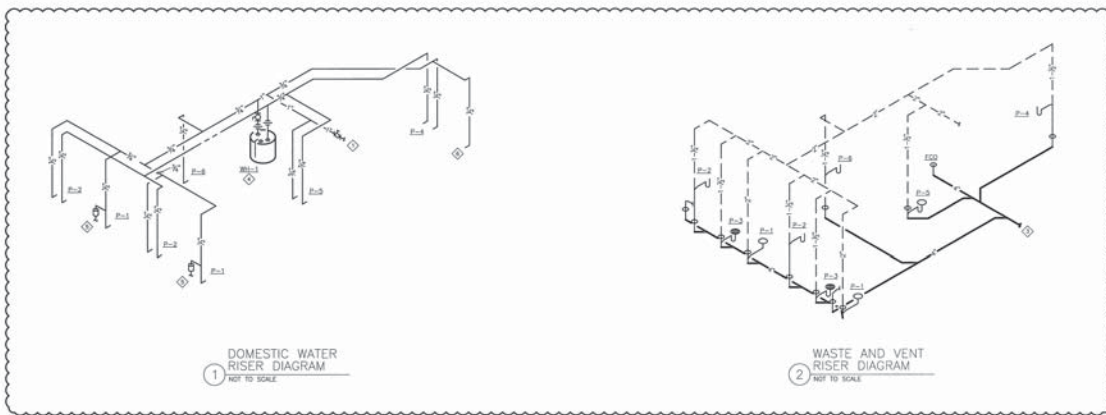
- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF WORK... 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF WORK...

DBSI INCORPORATED logo and contact information. Includes address: 1750 West Northway Parkway, Suite 100, Fort Lauderdale, FL 33309. Phone: 954-575-1111. Website: www.dbsi.com. Also includes RSP Architects logo and contact information.

DUNHAM logo and contact information. Includes address: 10000 SW 15th Street, Suite 100, Miami, FL 33185. Phone: 305-444-4444. Website: www.dunham.com. Also includes a seal for Mechanical and Plumbing Specifications.

MECHANICAL AND PLUMBING SPECIFICATIONS logo and MP1 logo.





- KEY NOTES:** ⬡
1. EXTEND NEW 1" CW LINE AND CONNECT TO EXISTING MIN. 1" WATER LINE - VERIFY SIZE AND LOCATION IN FIELD. PROVIDE SHUT-OFF VALVE AT CONNECTION.
  2. EXTEND 2" VENT AND CONNECT TO EXISTING MIN. 2" LANDSCAPE VENT MAIN. VERIFY EXACT LOCATION IN FIELD.
  3. EXTEND 4" SANITARY PIPING AND CONNECT TO MIN. 4" SANITARY PIPING BELOW FLOOR. VERIFY EXACT LOCATION IN FIELD.
  4. NEW WATER HEATER ON WALL MOUNTED PLATFORM ABOVE HOP TRAP. SEE DETAIL FOR ADDITIONAL REQUIREMENTS.
  5. PROVIDE SINKS CHEF MODEL #880-01 (OR APPROVED EQUAL) AUTOMATIC TRAP PRIMER AND EXTEND 1/2" COPPER TO FLOOR DRAIN TRAP PRIMER CONNECTION.
  6. PROVIDE NEW 1/2" CW WITH SHUTOFF FOR CONNECTION TO REFRIGERATOR.

Issue date	
Drawn By:	JPK
Checked By:	CMG
revisions	
△	PLAN REVIEW RESPONSE 02/26/19
△	PLAN REVIEW RESPONSE 04/01/19
DATE: 01/2019	
PLAN REVIEW RESPONSE	



















BLC2018-4718  
M2019011364  
3219011364  
15131 NW 67AVE.

MDC Permit: 2019039324  
 PLW submitted: 4/10/19  
 M2019011364  
 3219011364



Address: 15121 NW 67 AVE
Folio #: 32-2024-001-0120
MDC Process #: M20190005311
MDC Tracking #: 32190005311
Job Description: INTERIOR BUILD-OUT - MERCANTIL

Master Permit #: BLC2018-4718

Sub Permit #: \_\_\_\_\_

Revision #: \_\_\_\_\_

**OFFICE USE ONLY**

ZONING	Approved	Date	Disapproved	BUILDING	Approved	Date	Disapproved	STRUCT.	Approved	Date	Disapproved
	<input type="checkbox"/>	12-28-18 Fa			<input type="checkbox"/>		11/8/19 3/11/19			<input type="checkbox"/>	
ROOFING	Approved	Date	Disapproved	ELECT.	Approved	Date	Disapproved	MECH.	Approved	Date	Disapproved
	<input type="checkbox"/>				<input type="checkbox"/>	3/8/19 MM	12/31/18			<input type="checkbox"/>	3/12/19 Only
PLUMBING	Approved	Date	Disapproved	FLOOD	Approved	Date	Disapproved		Approved	Date	Disapproved
	<input type="checkbox"/>	12/28/18 3/7/19	4/15/19 5/15/19		<input type="checkbox"/>					<input type="checkbox"/>	

**PLANS CHECKED-OUT**

DATE	NAME
4/10/19	Everlyn Capos

**PLANS CHECKED-IN**

DATE	NAME
3/7/19	Everlyn Capos
4/10/19	Everlyn Capos 3056084286

	AMOUNTS
BASE PERMIT	
ZONING FEE	
CODE COMPLIANCE FEE	
TECHNOLOGY FEE	
DBPR SURCH. STATE	
DBPR SURCH. BUILDING	
SCANNING FEE	
WORK W/O PERMIT FEE	
UPFRONT FEE PAID	
BALANCE DUE:	

Miami-Dade County Department of Regulatory and Economic Resources - Job Copy

3219011364 - 4/25/2019 6:52:08 PM

TCMOL Permit Application.pdf

Issuing Clerk: \_\_\_\_\_ Date: \_\_\_/\_\_\_/\_\_\_

**A ZONING INSPECTION IS REQUIRED**

M2019005311  
3219005311



6601 Main St • Miami Lakes, Florida, 33014  
Office: (305) 827-4015 • Fax: (305) 558-9884  
Website: www.miamilakes-fl.gov

# BUILDING PERMIT APPLICATION

Job Address: 15121 NW 67th Ave

Unit #: MERCANTIL BANK (AMERANT)

Folio #: 32-2023-027-0010 Owner-Builder:

Master Permit #: BLC2018-4718

Sub Permit #: \_\_\_\_\_

2024-001-0120

Revision #: \_\_\_\_\_

OWNER INFORMATION	NAME : The Graham Companies, LLC	LEGAL USE/ WORK	Current Use of Property: <u>Office Building</u>
	Address: 6843 Main Street		Job Description <u>Interior Tenant Improvement to include new Mercantil Bank within existing space.</u>
	City, State, Zip Miami Lakes, FL 33014		JOB COST \$ <u>511,140.00</u> AREA/LENGTH: <u>1865sf</u> SF/LF
	Phone #: <u>821-1130</u> (305) 817-4005 Cell #: _____		Residential <input type="checkbox"/> Multi-Family <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Industrial <input type="checkbox"/>
CONTRACTOR INFORMATION	Email Address: <u>Lester Debs</u> philip.wyllie@grahamcos.com	ARCHITECT/ ENGINEER	Occupancy: <u>B - Business</u>
	Company Name: DBSI, Inc		Construction Type: <u>II-B</u>
	Qualifier Name: James Ransco II		Flood Zone/B.F.E.: _____ F.F.E.: _____
	License # CBC 1260367		Firm Name: RSP Architects, Florida Corp. No. AAC001726
	Address 6950 W Morelos Place		A/E of record: Carl G. Harkins
City, State, Zip Chandler, AZ 85226	License # AR97954	Address 1220 Marshall St NE	
Phone #: (602) 264-7263 Cell #: _____	City, State, Zip Minneapolis, MN 55413	Phone #: 612-677-7304 Cell #: _____	
Email Address: rjohnson@dbsi-inc.com	Email Address: nicole.nebelung@rsparch.com		
Permit Type -- Check only One		Change to Permit -- Check only One	
<input checked="" type="checkbox"/> Building <input type="checkbox"/> Electrical <input type="checkbox"/> Mechanical <input type="checkbox"/> Plumbing/Gas <input type="checkbox"/> Paving/Drainage <input type="checkbox"/> Sign <input type="checkbox"/> Roofing <input type="checkbox"/> P/W		<input type="checkbox"/> Extension <input type="checkbox"/> Renewal <input type="checkbox"/> Revision <input type="checkbox"/> Change Contractor <input type="checkbox"/> Shop Drawing <input type="checkbox"/> Cancellation	

Application is hereby made to obtain a permit to do work and installation as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards, of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for ELECTRICAL WORK, MECHANICAL, PLUMBING, SIGNS, WELLS, POOLS, RE-ROOFING, SHUTTERS, WINDOWS, FURNACES, BOILERS, HEATERS, TANKS, and AIR CONDITIONERS, etc. I understand that in signing this application I am responsible for the supervision and completion of the construction including scheduling of inspections and obtaining final inspections in accordance with the plans and specification WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR ATTORNEY OR LENDER BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. OWNER/CONTRACTOR AFFIDAVIT: I Certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning.

X [Signature] 12/10/2018 X [Signature]  
 Signature of Owner or Owner's Agent Date Signature of Qualifier Date 11/15/2018  
 Lester Debs James Ransco  
 Print Name of Owner or Owner's Agent Print Name of Qualifier

STATE OF Florida COUNTY OF Miami-Dade

STATE OF Arizona COUNTY OF Maricopa

Sworn to and subscribed before me this 10th December 2018

Sworn to and subscribed before me this Nov. 15 2018

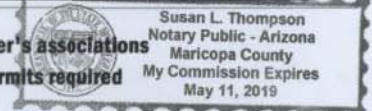
Miami Dade County Department of Regulatory and Economic Services - John Carr

3219001364 12/25/2018 6:52:08 PM  
 Personally known  or I.D. \_\_\_\_\_  
 NANCY E. ROARK  
 MY COMMISSION # FF 229649  
 EXPIRES: September 11, 2019  
 Bonded Thru Budget Notary Services

By [Signature] (SEAL)  
Personally known  or I.D. \_\_\_\_\_

TCMALL Permit Application will

NOTICE: In addition to the requirements of this permit, there may be additional deed restrictions enforced by the homeowner's associations that may be applicable to this property that may be found in the public records of this county, and there may be additional permits required from other governmental entities such as water management districts, state agencies, or federal agencies.



NOTE: This application will be void if there are no reviews after six(6) months.

# NOTE: ALL SHEETS MUST BE REVIEWED

MIAMI-DADE COUNTY DEPARTMENT OF REGULATORY AND ECONOMIC RESOURCES

Herbert S. Saffir Permitting and Inspection Center

11805 SW 26th Street (Coral Way) • Miami, Florida 33175-2474 • (786) 315-2000

## APPLICATION FOR MUNICIPAL PERMIT APPLICANTS THAT REQUIRE PLAN REVIEW FROM MIAMI-DADE FIRE RESCUE AND/OR ENVIRONMENTAL SERVICES

M2019005311 3219005311 BLC2018-4718

PROVIDE MUNICIPAL PROCESS NUMBER HERE

LOCATION OF IMPROVEMENTS	Job Address <u>15151 NW 67<sup>th</sup> AVE</u>		CONTRACTOR INFORMATION	Contractor No. <u>CBC 1260367</u>	
	Folio <u>32-2024-001-0120</u>			Last four (4) digits of Qualifier No. _____	
TYPE OF IMPROVEMENTS	<input type="checkbox"/> New Construction on Vacant Land <input checked="" type="checkbox"/> Alteration Interior <input type="checkbox"/> Alteration Exterior <input type="checkbox"/> Relocation of Structure <input type="checkbox"/> Enclosure <input type="checkbox"/> Repair <input type="checkbox"/> Repair Due to Fire		<input type="checkbox"/> Demolish <input type="checkbox"/> Shell Only <input type="checkbox"/> Addition Attached <input type="checkbox"/> Addition Detached <input type="checkbox"/> Re-Roof <input type="checkbox"/> Foundation Only <input type="checkbox"/> Tent		Current use of property <u>commercial</u>
	Lot _____ Block _____ Subdivision _____ PBpg. _____ Metes and bounds _____		Contractor Name <u>DBST, Inc.</u> Qualifier Name <u>James Ranscott</u> Address <u>6950 W Morelos Place</u> City <u>Chandler</u> State <u>AZ</u> Zip <u>85226</u>		Description of Work <u>interior renovations</u>
PERMIT TYPE	<input checked="" type="checkbox"/> MBLD* Category <u>01</u> <input type="checkbox"/> MELE _____ <input type="checkbox"/> MPLU _____ <input type="checkbox"/> MLPG _____ <input type="checkbox"/> MMEC _____ <input type="checkbox"/> FIRE _____		REVIEW STATUS	<input type="checkbox"/> Chg. Contractor <input type="checkbox"/> Re-Issue <input type="checkbox"/> Re-Stamp <input type="checkbox"/> Revision <input type="checkbox"/> Not Applicable for Fire	
	Owner <u>The Graham Corp.</u> Address <u>6843 Main St.</u> City _____ State _____ Zip _____ Phone <u>305-821-1130</u> Last four (4) digits of Owner's Social Security No. _____			Sq. Ft. <u>1,865</u> Units _____ Floors _____ Value of Work <u>500,000</u>	
PERSON TO PICK UP PLANS	Name <u>Evelyn Capor</u> Address <u>3540 SW 98 AVE</u> City <u>Miami</u> State <u>FL</u> Zip <u>33165</u> Phone <u>305-608-4284</u>		ARCHITECT / ENGINEER	Owner _____ Address _____ City _____ State _____ Zip _____ Phone _____	
FIRE SPECIAL REQUEST PLAN REVIEW (SRI)	I am requesting a Special Request Plan Review (SRI) to be scheduled as soon as possible. There is a minimum charge of one-hour. Please contact the Fire Department for current rate.				
1 <sup>st</sup> Request: _____		Date: _____		_____	
2 <sup>nd</sup> Request: _____		Date: _____		_____	
3 <sup>rd</sup> Request: _____		Date: _____		_____	

If the applicant is a known named violator with: unpaid civil penalties; unpaid administrative costs of hearing; unpaid County fines, penalties, and economic sanctions; or unpaid liens, 3219011300, any or all of which are owed to Miami-Dade County pursuant to the provisions of the Code of Miami-Dade County, Florida, a hold on the review may be placed on this application.